

7051 ROUSE ROAD MASTER PLAN

TOWN OF HOLLY SPRINGS
WAKE COUNTY, NORTH CAROLINA

CONDITIONAL REZONING SUBMITTAL TOWN OF HOLLY SPRINGS PROJECT #25-REZ-02 / PLRZ202500005)

1st SUBMITTAL TO TOWN OF HOLLY SPRINGS: JANUARY 3, 2025

2nd SUBMITTAL TO TOWN OF HOLLY SPRINGS: MARCH 14, 2025

3rd SUBMITTAL TO TOWN OF HOLLY SPRINGS: MAY 21, 2025

4th SUBMITTAL TO TOWN OF HOLLY SPRINGS: SEPTEMBER 19, 2025

5TH SUBMITTAL TO TOWN OF HOLLY SPRINGS: NOVEMBER 21, 2025

6TH SUBMITTAL TO TOWN OF HOLLY SPRINGS: NOVEMBER 21, 2025

DRAWING INDEX

- C-0.0 COVER SHEET
- C-0.1 DESIGN MANUAL SHEET
- C-1.0 BOUNDARY SURVEY
- C-1.2 TREE SAMPLE PLAN
- C-2.0 OVERALL SITE PLAN
- C-2.2 OPEN SPACE PLAN
- C-2.3 STREET TYPOLOGY
- C-2.4 STREET SECTIONS
- C-3.0 OVERALL UTILITY PLAN
- C-4.0 OVERALL DRAINAGE PLAN
- L-1.0 LANDSCAPE & BUFFER PLAN

CONDITIONS OF APPROVAL:

1. THE DEVELOPMENT WOULD BE LOCATED OUTSIDE OF ANY PARK SEARCH AREAS AND WOULD BE SUBJECT TO THE PAYMENT OF A FEE-IN-LIEU OF PARKLAND DEDICATION RATHER THAN THE DIRECT DEDICATION OF LAND AS PART OF THIS RESIDENTIAL DEVELOPMENT PROPOSAL. PLEASE SEE UDO TABLE 4.2-A FOR MORE.
2. ALL IMPROVEMENT RECOMMENDATIONS PER THE APPROVED TRAFFIC IMPACT ANALYSIS SHALL BE DESIGNED & CONSTRUCTED WITH THIS DEVELOPMENT.

PROJECT TEAM CONTACT INFORMATION

Surveyor:

Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919.577.1080
Contact: Brandon Nelson
bnelson@batemancivilsurvey.com

Land Use Attorney:

Morningstar Law Group
434 Fayetteville Street, Suite 2200
Raleigh, NC 27601
919.590.0370
Contact: Jason Barron & Tish Shapiro
jbarron@morningstarlawgroup.com
tshapiro@morningstarlawgroup.com

Civil Engineering:

The Curry Engineering Group, PLLC
NC License # P-0799
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
910.624.5215 (m)
Contact: Andrew Petty, PE
andy@curryeng.com

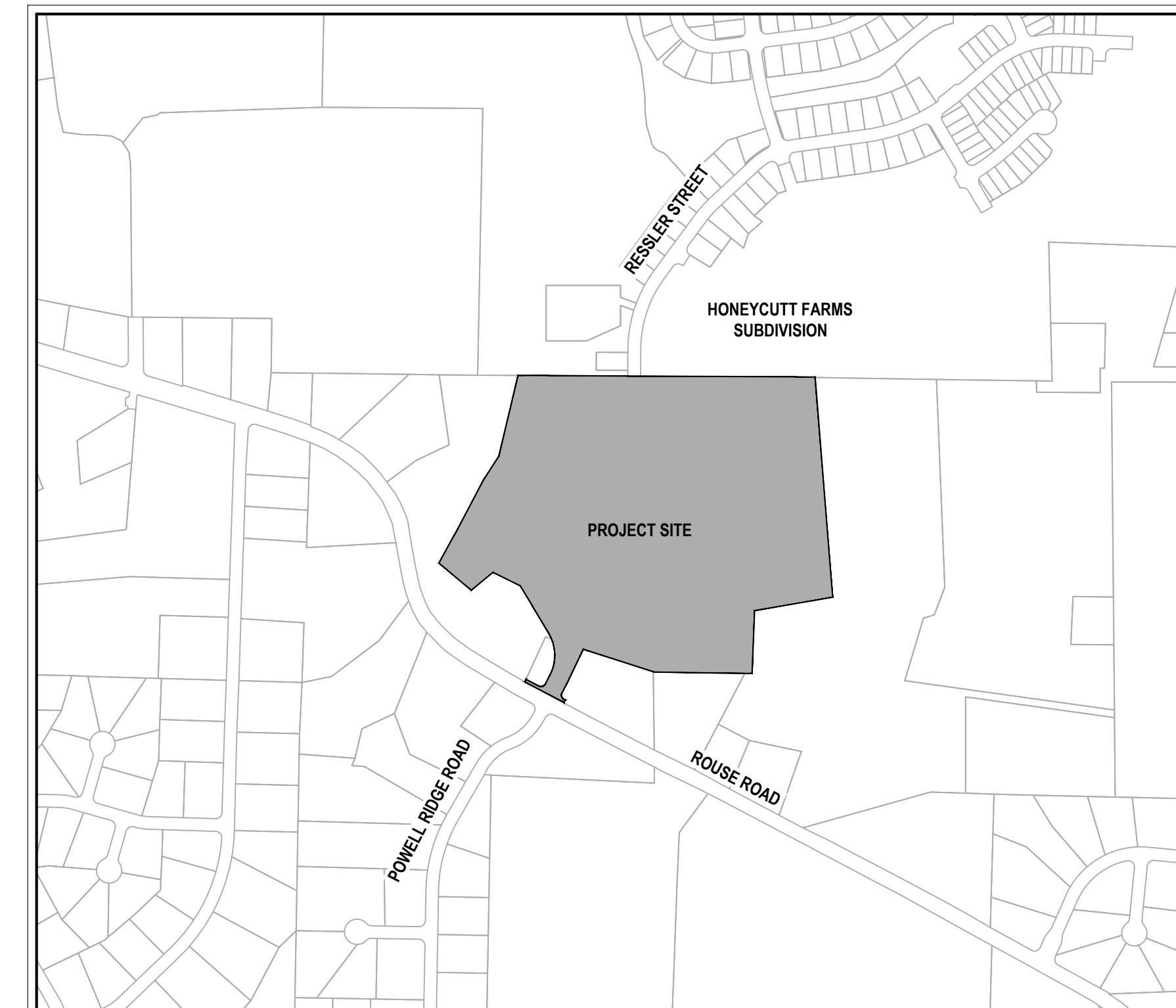
Property Owners:

Larue Powell & Phillip Powell
7036 Rouse Road
Holly Springs, NC 27540

Larue Powell & Lisa Powell
7009 Rouse Road
Holly Springs, NC 27540

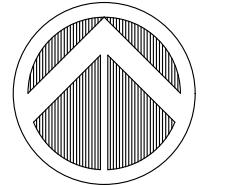
Developer:

KB Homes - Raleigh Durham
1800 Perimeter Park Drive, Suite 140
Morrisville, NC 27560
919-768-7976
Contact: Roman Acosta
racosta@kbhome.com



VICINITY MAP

SCALE: 1" = 500'



ISSUED FOR REVIEW

REVISIONS	TOHS COMMENTS
A	03/14/2025
B	05/21/2025
C	06/19/2025
D	11/21/2025
E	12/19/2025

FILE NO 2025-057
DATE: JANUARY 2, 2025
HORZ SCALE: AS SHOWN
ORIG SHEET SIZE: 24 x 36

7051 ROUSE ROAD MASTER PLAN

COVER SHEET

205 S. Fuquay Ave
Fuquay-Varina, NC 27526
T 919.552.0849
F 919.552.0843



Curry
ENGINEERING
SUBMITTAL
REZONING & MASTER PLAN
CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02
SEAL
C-0.0
ENGINEERING
NC LIC. NO. P-0799

DESIGN DEVELOPMENT MANUAL

SITE INFORMATION		
General Information		
Location	7051 Rouse Road (portion)	
County	Wake	
Parent PIN	0647-85-4527 (portion)	
Total Property Area (ac)	51.94	
Project Boundary (ac)	32.70	
Town Jurisdiction	Holly Springs	
Existing Zoning	Rural Residential (RR)	
Proposed Zoning	Neighborhood Residential Conditional	
Current Use	Residential C Nursery	
Proposed Use	Mixed Residential Neighborhood	
River Basin	Cape Fear	
Surface Water Classification	Buckhorn Creek (18-7-(1)) C;	
Watershed	None	
FEMA Map Panel Number	3720064700K	
Density Calculations		
Maximum Allowable Density (units/ac)	8	
Maximum Allowable Units	262	
Proposed Number of Units	97	
Proposed Density (units/ac)	2.97	
Proposed Gross Density (units/ac)	3.60	
Lot Summary		
Proposed Number of Front Loaded Detached Dwelling Units	42	
Proposed Number of Rear Load Detached Dwelling Units	13	
Proposed Number of Rear Load Attached Dwelling Units	42	

ALLOWABLE USES		
Residential Use District		
Detached Dwelling		
Attached Dwelling - Townhome		
Recreational Uses *		
Residential Accessory Uses **		
* Recreational uses are limited to those associated with subdivision amenities.		
** Accessory uses are limited to those uses and structures per Town of Holly Springs UDO Section 3.4.2.		

ARCHITECTURAL STANDARDS		
ROOFING	Material Options	Primary Roofs: Architectural Asphalt Shingles
Structure	12" Eaves Minimum	Must Include Two of the Following:
Character Elements	1. Reverse Gable 2. Hip Roof 3. Change in roof line direction or height shift in roof plane (either vertically or horizontally)	
FOUNDATION TYPE	Town Homes will be Slab on Grade Construction.	Single Family Detached Homes will be turndown slab with 12" foundation height
FAÇADE	No two lots with a shared property line shall have the same front elevation or primary colors	
Siding Material	Minimum of 35% shall be Type 1 Building Material as defined in UDO Section 8.2.G.2.a. Remaining materials shall be Type 2, Type 3 and Type 4 materials are prohibited.	
Windows	Street-facing elevations must include Shutters and 4" window trim	
Garage Doors	Street-facing garage doors shall use carriage style paneling and include windows in upper panels and craftsman hardware.	
ENERGY	Minimum of 1 Light-duty Electric Vehicle Supply Equipment Home Installation (EVSE-Home) 240-volt charging outlet per unit, to be wired in the garage.	
	All homes shall be designed to be ENERGY STAR® certified	

WATER MANAGEMENT POLICY		
Allocation Assignment	Residential	
Priority Level	2	
Committed Allocation Elements		
Public Infrastructure Improvements	All SCMs shall be constructed as vegetated constructed wetland standards per the NCDENR	
Sustainable Design	All Homes shall be designed to LEED accreditation standards, obtaining a minimum of 40 points on the Leed_v4.1 Residential Single Scorecard. This scorecard shall be filled out for each primary structure the neighborhood and submitted with building permit application.	

OPEN SPACE STANDARDS		
	UDO Requirement	CD Proposed
OPEN SPACE QUANTITY STANDARDS		
Open Space Areas	%	acres
Tree Preservation / Reforestation	20%	6.54
Active Open Space	5%	1.64
Flex Open Space	5%	1.64
Total Open Space	30%	9.81
	47%	15.29
OPEN SPACE PERFORMANCE STANDARDS		
Tree Preservation Areas	Preservation of existing trees & reforestation areas	
Active Open Space Areas	Dog Park, Benches, Shade Structure or Pavilion, Nature Trails, Greenways, Playground, Play Lawn, Community Gardens, Pet Waste Stations	
Flex Open Space Areas	Preservation of existing land use, reforestation, easements, stormwater management areas, any active open space activity	
MINIMUM ACTIVE OPEN SPACE REQUIREMENTS		
Playground (tot lot) *	1 of the following	
Active Open Space #4	Play Lawn, Shade Structure or Pavilion, Dog Park	Pet Waste Station Yoga Lawn, Picnic Tables, Outdoor Games, throughout.

LANDSCAPING & BUFFERS		
PERIMETER BUFFERS		
Description	Min. Width	Type
Rouse Road	5 ft	Type A - Enhanced
Adjacent Properties	5ft	Type A - Enhanced
Active Open Space	5ft	Type A - Enhanced
Enhanced buffer shall provide four (4) deciduous trees (2 small / 2 large) and eight (8) deciduous shrubs per one hundred (100) feet.		

SAMPLE ELEVATIONS

NOTE: THE FOLLOWING ELEVATIONS ARE CONCEPTUAL IN NATURE AND ARE CURRENTLY STILL BEING FINALIZED FOR THIS PROJECT.



SINGLE FAMILY DETACHED - FRONT LOAD



SINGLE FAMILY ATTACHED (TOWNHOUSE) - REAR LOAD



SINGLE FAMILY DETACHED - REAR LOAD

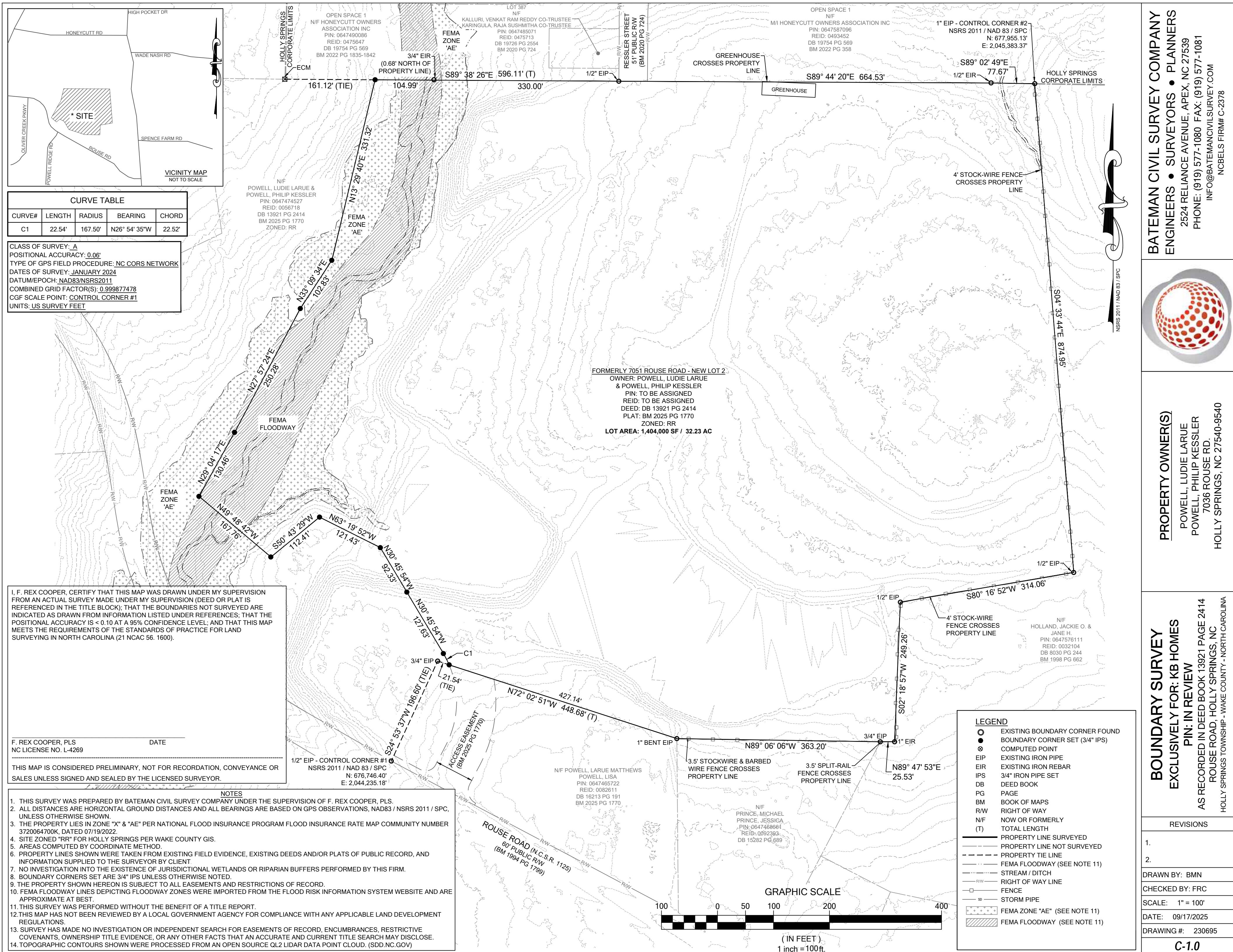
PROJECT FOLDER-ZEBULON 20232023457 K HOMES ROUSE ROAD - HOLLY SPRINGS PLANSMASTER PLANSFILEC-01 DESIGN MANUAL SHEET DWG
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REZONING & MASTER PLAN
CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02
SUBMITTAL
CURRY
ENGINEERING
C-0.1

REVISIONS
A 03/14/2025 TOHS COMMENTS
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FILE NO: 2023-057
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HORZ SCALE: AS SHOWN
ORIG SHEET SIZE: 24 x 36

T 919.55-3849 20 S. Friday Avenue
F 919.55-3843 Research Triangle Park, NC 27260
NC LIC NO. P-0789

ISSUED FOR REVIEW
C-0.1



7051 ROUSE ROAD MASTER PLAN

TREE SAMPLE PLAN

T 189 55-049
F 189 55-043
20 S. Friday Avenue
Floyd Valley, NC 2766

ENGINERS TO
EST. 1978
NC LIC. NO. P-0789

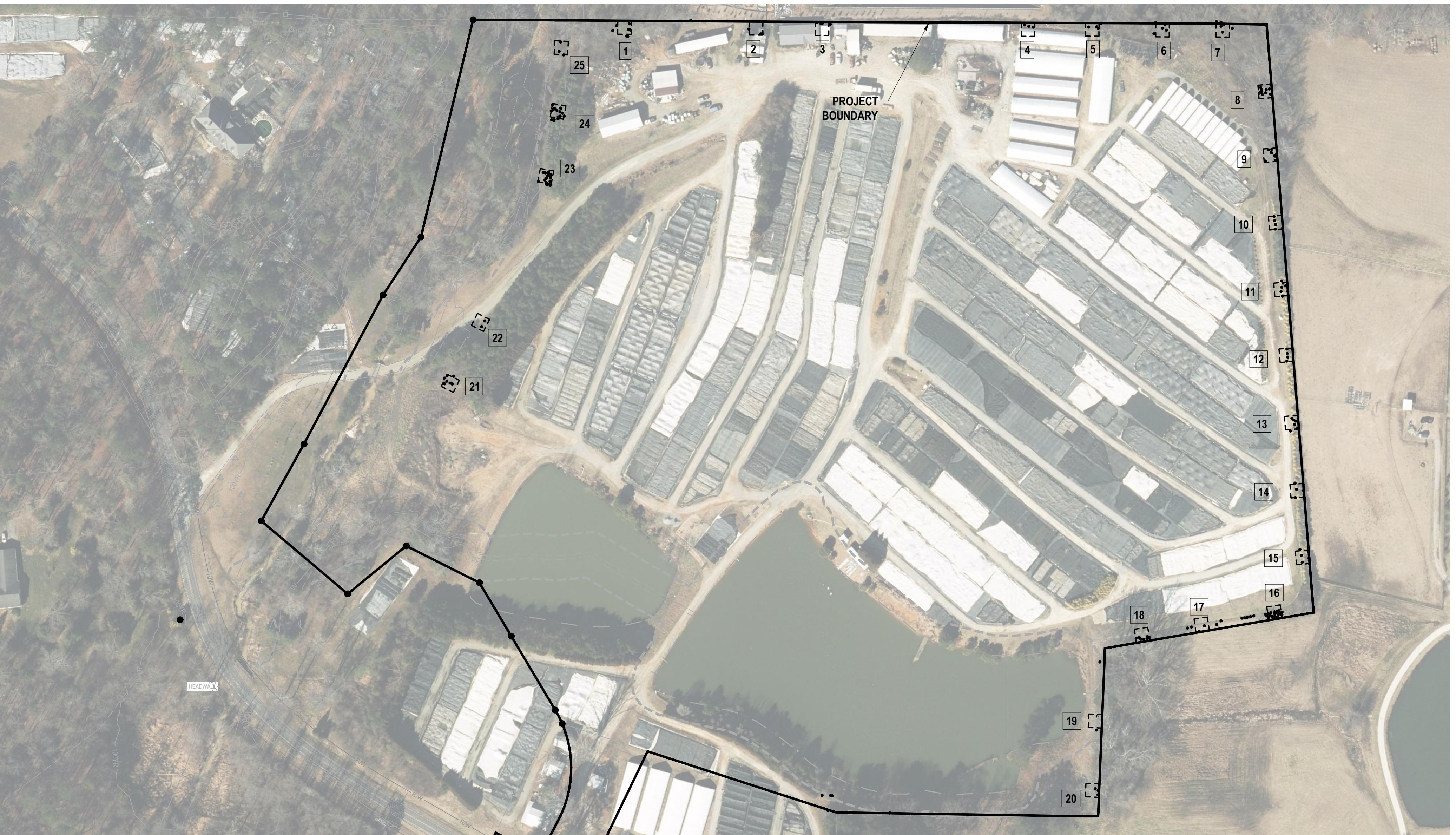
PROJECT FOLDER-ZEBULON 2023-2023-057 K HOMES ROUSE ROAD - HOLLY SPRINGS PLANSMASTER PLANSHEET FILE#C-1.2 TREE SAMPLE PLANS

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F 189 55-043
20 S. Friday Avenue
Floyd Valley, NC 2766

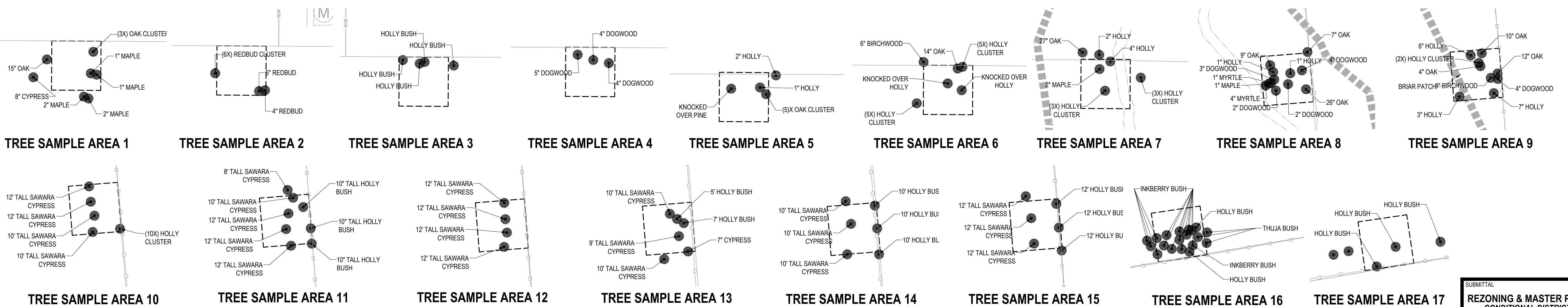
REZONING & MASTER PLAN
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Curry
ENGINEERING

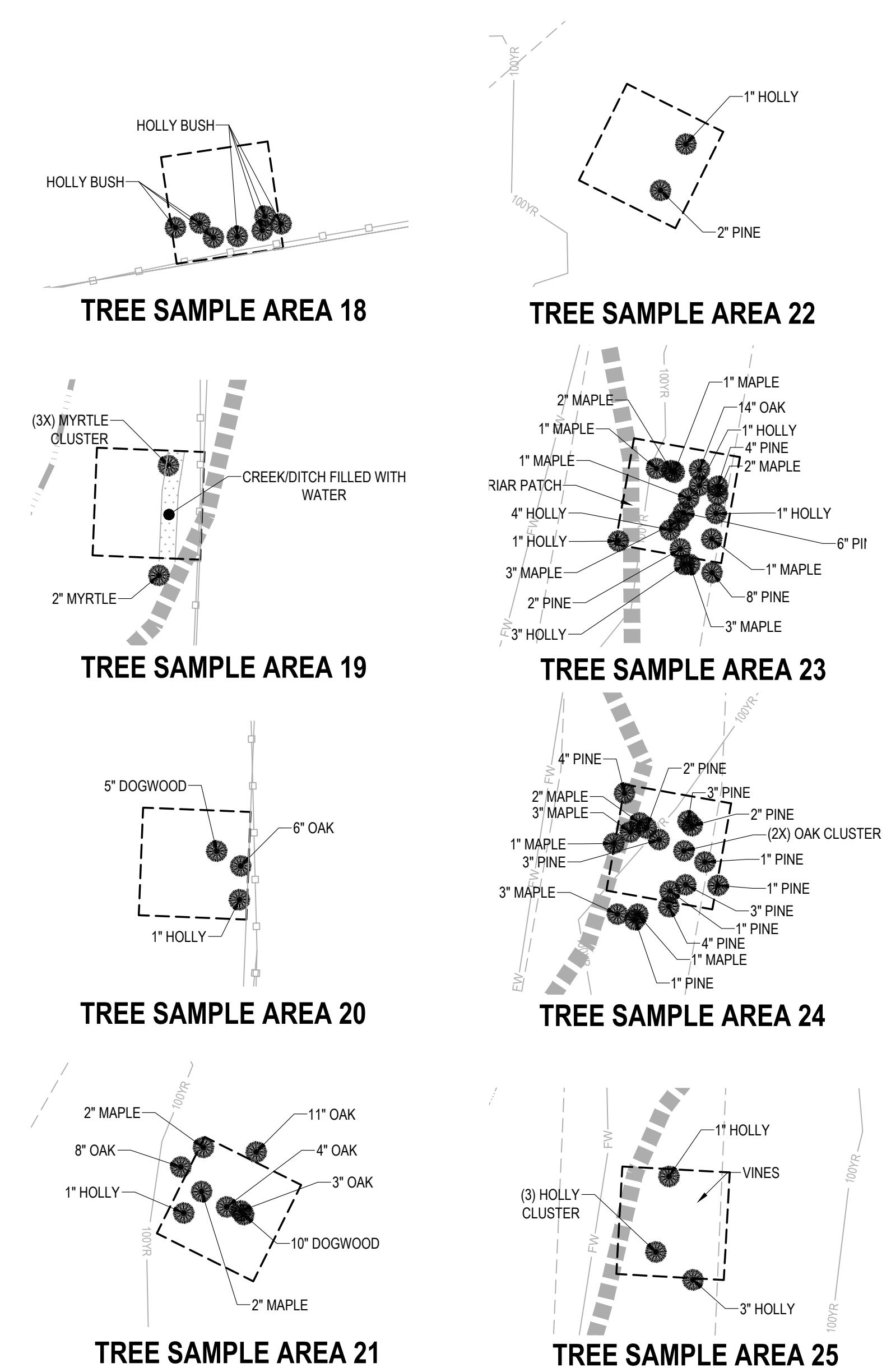


1
C-1.2
OVERALL SITE & AERIAL PHOTOGRAPHY
SCALE: 1'=100'



TREE SAMPLE NOTE:
THE 20' X 20' TREE SAMPLE AREAS, PROVIDED BY VILLAGE GREEN LAND DESIGN, ARE
REPRESENTATIVE OF THE OVERALL VARIOUS AREAS OF TREE CANOPY THAT EXIST ON THE SITE.

1
C-1.2
DISTANCE 'X'
FROM TRUNK
ROOT ZONE PROTECTION
SCALE: N.T.S.



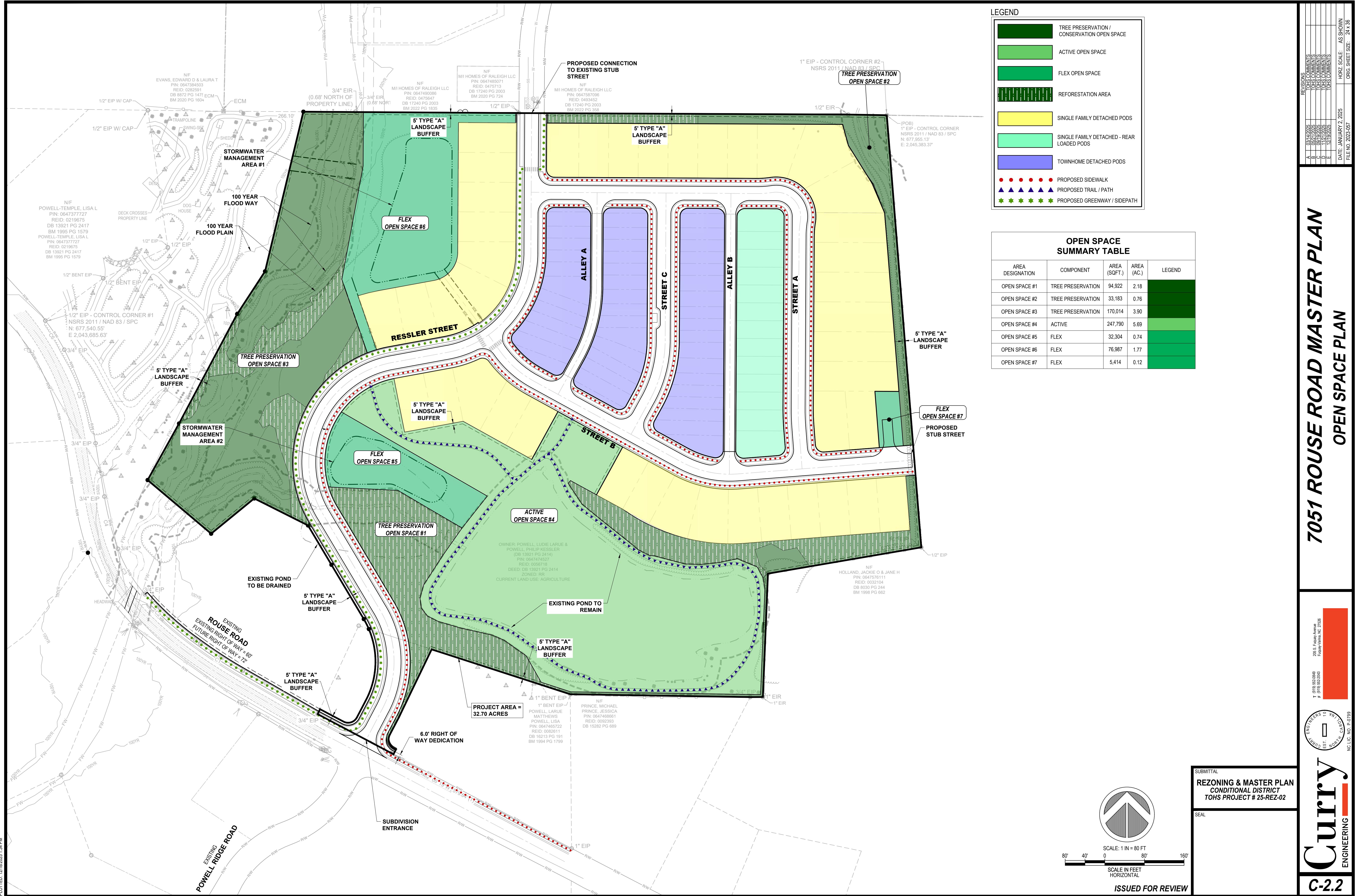
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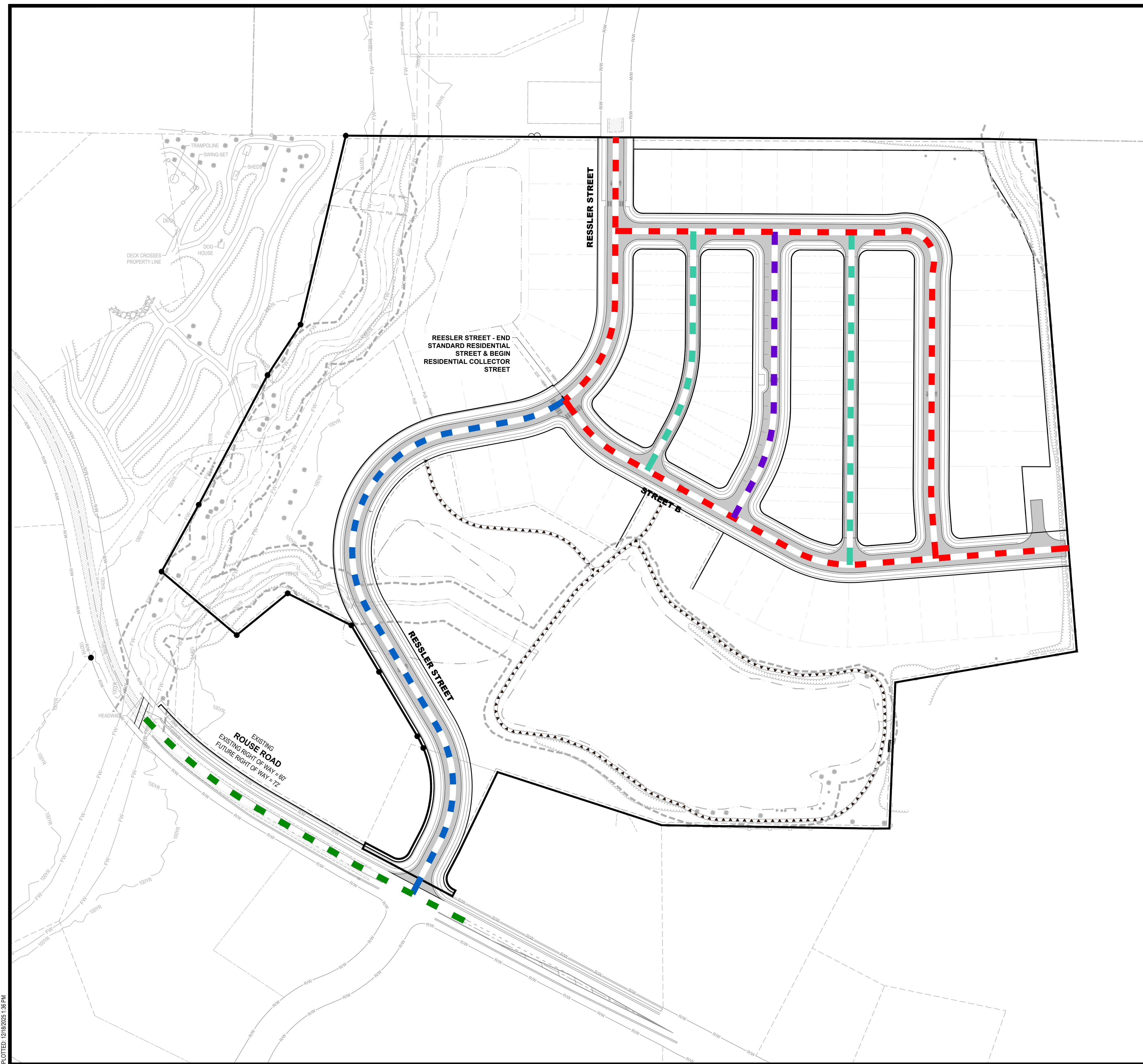
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OPEN SPACE PLAN





LEGEND	
PRIVATE ALLEYS	25' PRIVATE RIGHT OF WAY
REVISIONS	TOHS COMMENTS
STANDARD RESIDENTIAL STREET (SUBURBAN C-2A)	10/11/2025
61' PUBLIC RIGHT OF WAY	10/11/2025
STANDARD RESIDENTIAL STREET W/ PARKING (URBAN C-2B)	10/11/2025
65' PUBLIC RIGHT OF WAY	10/11/2025
NEIGHBORHOOD CONNECTOR (SUBURBAN LC-2A)	10/11/2025
65' PUBLIC RIGHT OF WAY	10/11/2025
COLLECTOR OR THROUGHFARE (SUBURBAN CT-3C)	10/11/2025
	72' PUBLIC RIGHT OF WAY
	10/11/2025

7051 ROUSE ROAD MASTER PLAN

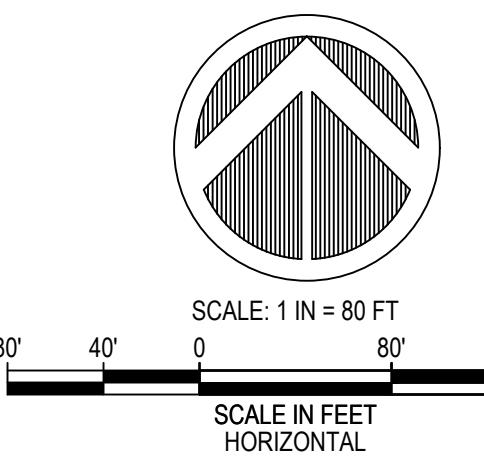
STREET TYPOLOGY

ENGINEERS
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20 S. Friday Avenue
Fayville, NC 2756
T 919.552.0549
F 919.552.0543

NC LIC. NO. P-0789

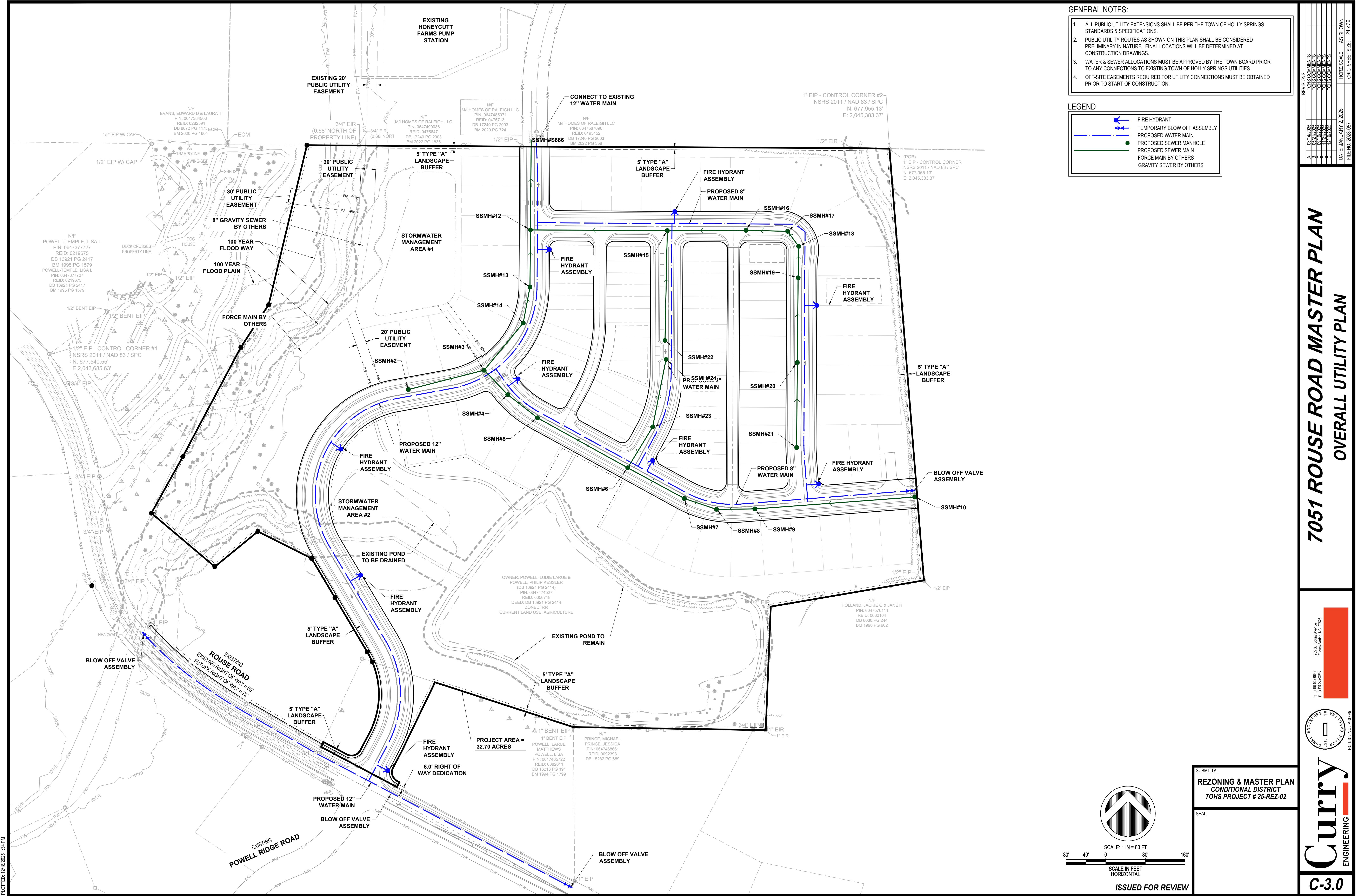
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TOHS PROJECT # 25-REZ-02
SEAL

C-2.3



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REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

PETITION TYPE – each request must be a separate application in the Portal	
<input type="checkbox"/>	Zoning Map Change – General Use District
<input checked="" type="checkbox"/>	Zoning Map Change – Conditional Zoning District <input type="checkbox"/> Option 1 Plan: Development Plan or Subdivision Plan (Preliminary Plat) <input checked="" type="checkbox"/> Option 2 Plan: Master Plan
<input type="checkbox"/>	Comprehensive Plan Amendment <input type="checkbox"/> Text Amendment <input type="checkbox"/> Future Land Use Map Amendment <input type="checkbox"/> Small Area Plan Map Amendment
<input type="checkbox"/>	UDO Text Amendment – UDO Section:

PROJECT INFORMATION		
https://www.hollyspringsnc.gov/742/Maps		
Project Name	Powell Place	
Project Location Use street address. If none, use closest intersection	7051 & 7121 Rouse Rd, Holly Springs, NC 27540 <input type="checkbox"/> Within Corporate Limits <input checked="" type="checkbox"/> Within Holly Springs ETJ <input type="checkbox"/> Pending Annexation	
PIN(s)	0647474527; 0647465722	
Real Estate ID	0056718; 0082611	
Project Acreage	29.82 Acres	Partial Parcel? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Current Zoning	Rural Residential	
Proposed Zoning	Neighborhood Residential Conditional District (NR-CD)	
Current Future Land Use Designation	Mixed Residential Neighborhood	
Proposed Future Land Use Designation	Mixed Residential Neighborhood	
Small Area Plan Designation (if applicable)	N/A	
Special Study Scoping Meeting Dates	Sewer Scoping Mtg. 1/25/24; TIA 3/28/24	
Sketch Plan Review (pre-submittal) Meeting Date:	10/31/24	
Neighborhood Meeting Date:	August 28, 2024 and December 18, 2024	

CERTIFICATE OF COMPLETION	
I certify that all information presented in this petition is accurate to the best of my knowledge and belief.	
Signature of Applicant:	Date: 3/14/2025



REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

PETITION CONTACT INFORMATION (Attach additional sheets if needed)

Applicant and Financially Responsible Party will need to register for an account on the Portal.

Project Applicant Check One: Owner Owner's Agent Design Professional Developer Other

Name: [Jason Barron/Leticia Shapiro](#) Company: [Morningstar Law Group](#)

Mailing Address: [434 Fayetteville St, Ste 2200](#)

City, State, Zip: [Raleigh, NC 27601](#)

Telephone: [919-590-0371/919-590-0366](#) E-Mail: jbarron@morningstarlawgroup.com/tshapiro@morningstarlawgroup.com

Design Professional

Name: [Andy Petty](#) Company: [Curry Engineering](#)

Mailing Address: [205 S. Fuquay Ave.](#)

City, State, Zip: [Fuquay-Varina, NC 27526](#)

Telephone: [\(919\) 552.0849 x102](#) E-Mail: andy@curryeng.com

Developer

Name: [Roman Acosta](#) Company: [KB Home Raleigh-Durham, Inc.](#)

Mailing Address: [1800 Perimeter Park Drive, Suite 140](#)

City, State, Zip: [Morrisville, NC 27560](#)

Telephone: [\(919\) 768-7976](#) E-Mail: RAcosta@KBHome.com

Architect

Name: Company:

Mailing Address:

City, State, Zip:

Telephone: E-Mail:

Landscape Architect

Name: Company:

Mailing Address:

City, State, Zip:

Telephone: E-Mail:

Financially Responsible Party (REQUIRED)

Name: [Roman Acosta](#) Company: [KB Home Raleigh-Durham, Inc..](#)

Mailing Address: [1800 Perimeter Park Drive, Suite 140](#)

City, State, Zip: [Morrisville, NC 27560](#)

Telephone: [\(919\)768-7976](#) E-Mail: RAcosta@KBHome.com

Property Owner (REQUIRED)

Name: [See Attached.](#) Company:

Mailing Address:

City, State, Zip:

Telephone: E-Mail: