

7051 ROUSE ROAD MASTER PLAN

TOWN OF HOLLY SPRINGS
WAKE COUNTY, NORTH CAROLINA

CONDITIONAL REZONING SUBMITTAL

TOWN OF HOLLY SPRINGS PROJECT #25-REZ-02 / PLRZ202500005)

1st SUBMITTAL TO TOWN OF HOLLY SPRINGS: JANUARY 3, 2025

2nd SUBMITTAL TO TOWN OF HOLLY SPRINGS: MARCH 14, 2025

3rd SUBMITTAL TO TOWN OF HOLLY SPRINGS: MAY 21, 2025

4th SUBMITTAL TO TOWN OF HOLLY SPRINGS: SEPTEMBER 19, 2025

5th SUBMITTAL TO TOWN OF HOLLY SPRINGS: NOVEMBER 21, 2025

6th SUBMITTAL TO TOWN OF HOLLY SPRINGS: NOVEMBER 21, 2025

DRAWING INDEX

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CONDITIONS OF APPROVAL:

- THE DEVELOPMENT WOULD BE LOCATED OUTSIDE OF ANY PARK SEARCH AREAS AND WOULD BE SUBJECT TO THE PAYMENT OF A FEE-IN-LIEU OF PARKLAND DEDICATION RATHER THAN THE DIRECT DEDICATION OF LAND AS PART OF THIS RESIDENTIAL DEVELOPMENT PROPOSAL. PLEASE SEE UDO TABLE 4.2-A FOR MORE.
- ALL IMPROVEMENT RECOMMENDATIONS PER THE APPROVED TRAFFIC IMPACT ANALYSIS SHALL BE DESIGNED & CONSTRUCTED WITH THIS DEVELOPMENT.

PROJECT TEAM CONTACT INFORMATION

Surveyor:

Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919.577.1080
Contact: Brandon Nelson
bnelson@batemancivilsurvey.com

Civil Engineering:

The Curry Engineering Group, PLLC
NC License # P-0799
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
910.624.5215 (m)
Contact: Andrew Petty, PE
andy@curryeng.com

Land Use Attorney:

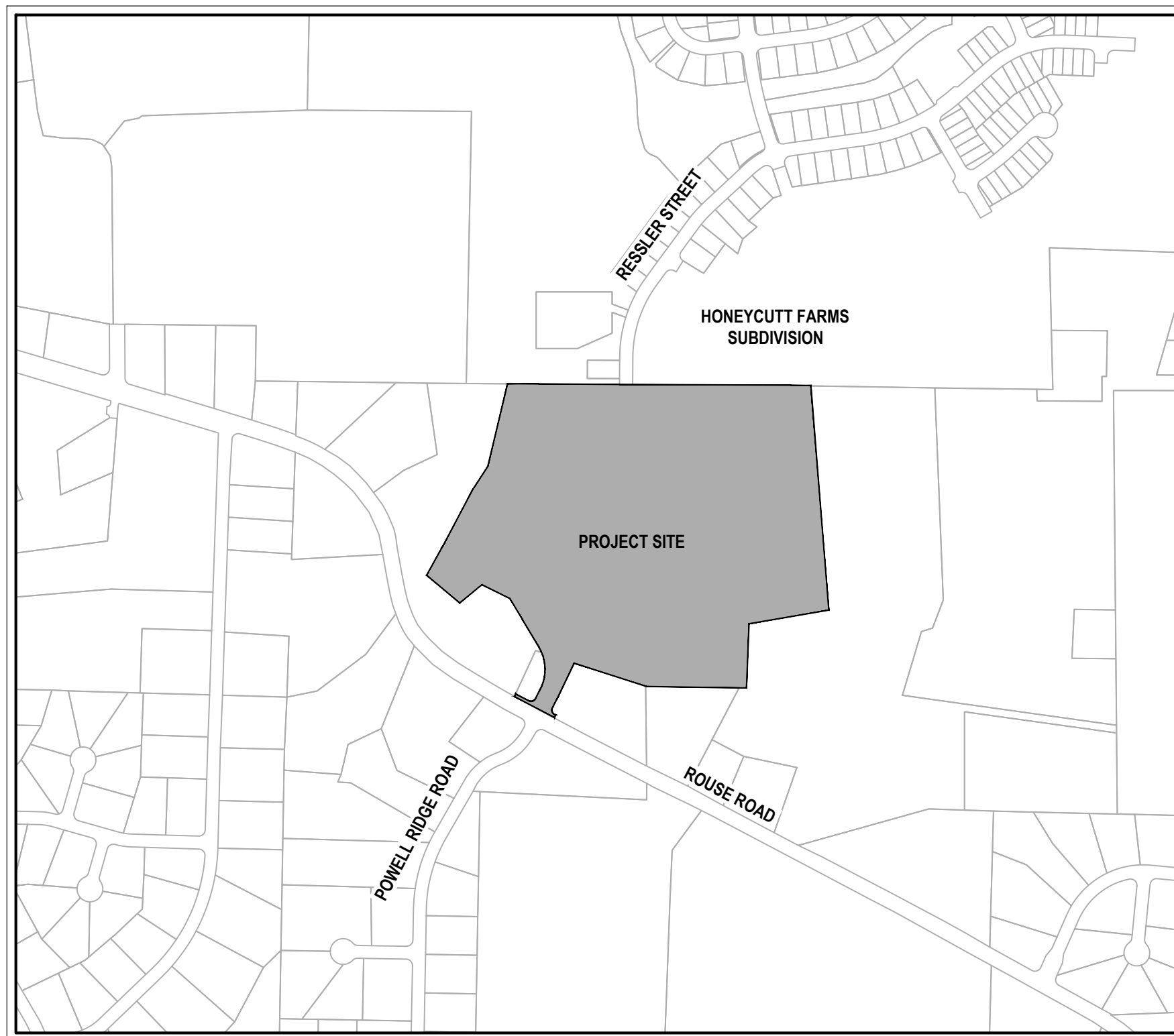
Morningstar Law Group
434 Fayetteville Street, Suite 2200
Raleigh, NC 27601
919.590.0370
Contact: Jason Barron & Tish Shapiro
jbarron@morningstarlawgroup.com
tshapiro@morningstarlawgroup.com

Property Owners:

Larue Powell & Phillip Powell
7036 Rouse Road
Holly Springs, NC 27540
Larue Powell & Lisa Powell
7009 Rouse Road
Holly Springs, NC 27540

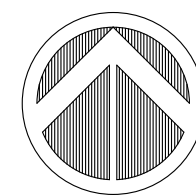
Developer:

KB Homes - Raleigh Durham
1800 Perimeter Park Drive, Suite 140
Morrisville, NC 27560
919-768-7976
Contact: Roman Acosta
racosta@kbhome.com



VICINITY MAP

SCALE: 1" = 500'



SUBMITTAL

REZONING & MASTER PLAN
CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

SEAL

7051 ROUSE ROAD MASTER PLAN

COVER SHEET

205 S. Fuquay Avenue
Fuquay-Varina, NC 27526
T: (919) 552-0849
F: (919) 552-0843

Curry
ENGINEERING

C-0.0

ISSUED FOR REVIEW

DESIGN DEVELOPMENT MANUAL

SITE INFORMATION	
General Information	
Location	7051 Rouse Road (portion)
County	Wake
Parent PIN	0647-85-4527 (portion)
Total Property Area (ac)	51.94
Project Boundary (ac)	32.70
Town Jurisdiction	Holly Springs
Existing Zoning	Rural Residential (RR)
Proposed Zoning	Neighborhood Residential Conditional
Current Use	Residential C Nursery
Proposed Use	Mixed Residential Neighborhood
River Basin	Cape Fear
Surface Water Classification	Buckhorn Creek (18-7-(1)) C;
Watershed	None
FEMA Map Panel Number	3720064700K
Density Calculations	
Maximum Allowable Density (units/ac)	8
Maximum Allowable Units	262
Proposed Number of Units	97
Proposed Density (units/ac)	2.97
Proposed Gross Density (units/ac)	3.60
Lot Summary	
Proposed Number of Front Loaded Detached Dwelling Units	42
Proposed Number of Rear Load Detached Dwelling Units	13
Proposed Number of Rear Load Attached Dwelling Units	42

DIMENSIONAL STANDARDS		
	UDO Requirement	CD Proposed
DEVELOPMENT INTENSITY		
Development Density		
Maximum Gross Density (units/ac)	8	3.60
Maximum Number of Units (#)	262	97
Open Space C Conservation Areas	Refer to Open Space Table	
Attached Dwelling Units		
Minimum Units (%)	10%	10%
Maximum Units (%)	50%	43%
LOT CONFIGURATION		
Minimum Lot Area		
Detached Dwelling Units (sf)	Average ≥ 5,000	Average ≥ 5,000
Attached Dwelling Units (sf)	None	None
Other Buildings (sf)		10,000
Minimum Lot Width at the Setback Line		
Detached Dwellings (sf)	26	35
Attached Dwelling (sf)	18	20
Minimum Lot Frontage		
All Buildings (sf)	18	20
Minimum Lot Frontage for a Driveway		
Detached Dwellings		60
BUILDING PLACEMENT		
Primary Building Setbacks		
Detached Dwelling Units		
Minimum Front (ft) when rear loaded	5	5
Minimum Front (ft) when front loaded	20	20
Minimum Front-loaded Garage (ft)	25	25
Side - Interior (ft)	5	5
Side - Corner (ft)	5	5
Rear (ft)	20	20
Rear from Alley Centerline (ft)	15	32.5
Attached Dwelling Units		
Minimum Front (ft) when rear loaded	5	5
Side - Interior (ft)	5	5
Side - Corner (ft)	5	5
Rear (ft)	20	20
Rear from Alley Centerline (ft)	15	32.5
Building to Building (ft)	N/A	10
Building Height		
Primary Building	50	35
Accessory Building	25	25

ALLOWABLE USES	
<i>Residential Use District</i>	
Detached Dwelling	
Attacehd Dwelling - Townhome	
Recreational Uses *	
Residential Accessory Uses **	
* Recreational uses are limited to those associated with subdivision amenities.	
** Accessory uses are limited to those uses and structures per Town of Holly Springs UDO Section 3.4.2.	

ARCHITECTURAL STANDARDS	
ROOFING	
Material Options	Primary Roofs: Architectural Asphalt Shingles
Structure	12" Eaves Minimum
Character Elements	Must Include Two of the Following: 1. Reverse Gable 2. Hip Roof 3. Change in roof line direction or height shift in roof plane (either vertically or horizontally)
FOUNDATION TYPE	
Foundation Type	Town Homes will be Slab on Grade Construction. Single Family Detached Homes will be turndown slab with 12" foundation height
FAÇADE	
No two lots with a shared property line shall have the same front elevation or primary colors	
Siding Material	Minimum of 35% shall be Type 1 Building Material as defined in UDO Section 8.2.G.2.a. Remaining materials shall be Type 2, Type 3 and Type 4 materials are prohibited.
Windows	Street-facing elevations must include Shutters and 4" window trim
Garage Doors	Street-facing garage doors shall use carriage style paneling and include windows in upper panels and craftsman hardware.
ENERGY	
Minimum of 1 Light-duty Electric Vehicle Supply Equipment Home Installation (EVSE-Home) 240-volt charging outlet per unit, to be wired in the garage. All homes shall be designed to be ENERGY STAR® certified	

WATER MANAGEMENT POLICY	
Allocation Assignment	
Allocation Assignment	Residential
Priority Level	2
Committed Allocation Elements	
Public Infrastructure Improvements	All SCMs shall be constructed as vegetated constructed wetland standards per the NCDENR
Sustainable Design	All Homes shall be designed to LEED accreditation standards, obtaining a minimum of 40 points on the LEED v4.1 Residential Single Scorecard. This scorecard shall be filled out for each primary structure the neighborhood and submitted with building permit application.

OPEN SPACE STANDARDS				
		UDO Requirement		CD Proposed
OPEN SPACE QUANTITY STANDARDS				
Open Space Areas	%	acres	%	acres
Tree Preservation / Reforestation	20%	6.54	21%	6.84
Active Open Space	5%	1.64	17%	5.69
Flex Open Space	5%	1.64	8%	2.63
Total Open Space	30%	9.81	47%	15.29
OPEN SPACE PERFORMANCE STANDARDS				
Tree Preservation Areas		Preservation of existing trees & reforestation areas		
Active Open Space Areas		Dog Park, Benches, Shade Structure or Pavilion, Nature Trails, Greenways, Playground, Play Lawn, Community Gardens, Pet Waste Stations		
Flex Open Space Areas		Presevation of existing land use, reforestation, easements, stormwater management areas, any active open space activity		
MINIMUM ACTIVE OPEN SPACE REQUIREMENTS				
		Playground (tot lot) + 1 of the following		2 of the following
Active Open Space #4		Play Lawn, Shade Structure or Pavilion , Dog Park		Pet Waste Station Yoga Lawn, Picinic Tables, Outdoor Games,
All active open space areas to include minimally one bench & one waste receptacle and to provide landscaping throughout.				

LANDSCAPING & BUFFERS		
PERIMETER BUFFERS		
Description	Min. Width	Type
Rouse Road	5 ft	Type A - Enhanced
Adjacent Properties	5ft	Type A - Enhanced
Active Open Space	5ft	Type A - Enhanced
Enhanced buffer shall provide four (4) deciduous trees (2 small / 2 large) and eight (8) deciduous shrubs per one hundred (100) feet.		

SAMPLE ELEVATIONS

NOTE: THE FOLLOWING ELEVATIONS ARE CONCEPTUAL IN NATURE AND ARE CURRENTLY STILL BEING FINALIZED FOR THIS PROJECT.



SINGLE FAMILY DETACHED - FRONT LOAD



SINGLE FAMILY ATTACHED (TOWNHOUSE) - REAR LOAD



SINGLE FAMILY DETACHED - REAR LOAD

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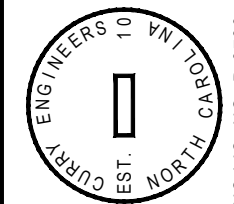
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CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

SEAL

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7051 ROUSE ROAD MASTER PLAN
DESIGN MANUAL SHEET

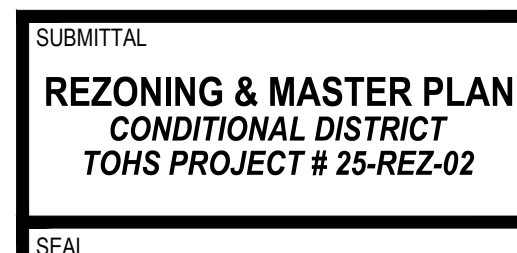
208 S. Fagley Avenue
Fayetteville, NC 27808
T: (919) 852-0848
F: (919) 852-0843



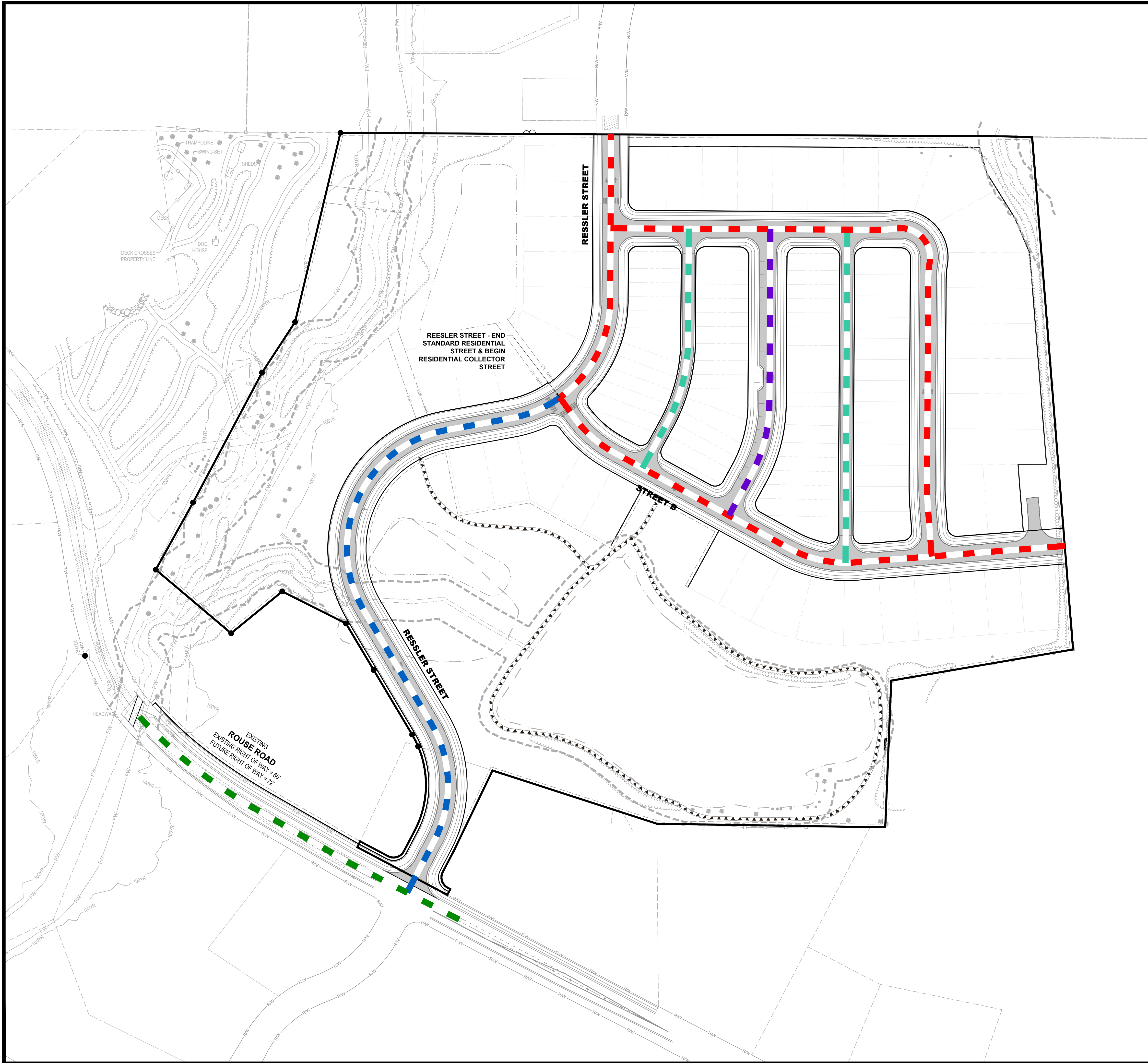
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C-0.1



OPEN SPACE SUMMARY TABLE				
AREA DESIGNATION	COMPONENT	AREA (SQFT.)	AREA (2 AC)	LEGEND
OPEN SPACE #1	TREE PRESERVATION	94,922	2.18	
OPEN SPACE #2	TREE PRESERVATION	33,183	0.76	
OPEN SPACE #3	TREE PRESERVATION	170,014	3.90	
OPEN SPACE #4	ACTIVE	247,790	5.69	
OPEN SPACE #5	FLEX	32,304	0.74	
OPEN SPACE #6	FLEX	76,987	1.77	
OPEN SPACE #7	FLEX	5,414	0.12	

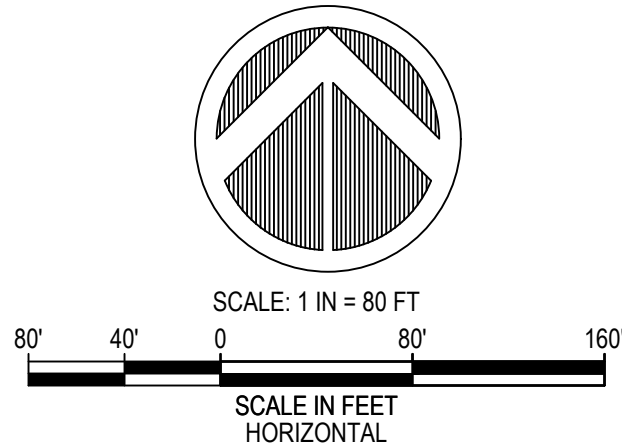


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LEGEND

	PRIVATE ALLEYS
	25' PRIVATE RIGHT OF WAY
	STANDARD RESIDENTIAL STREET (SUBURBAN C-2A)
	61' PUBLIC RIGHT OF WAY
	STANDARD RESIDENTIAL STREET W/ PARKING (URBAN C-2B)
	65' PUBLIC RIGHT OF WAY
	NEIGHBORHOOD CONNECTOR (SUBURBAN LC-2A)
	65' PUBLIC RIGHT OF WAY
	COLLECTOR OR THROUGHFARE (SUBURBAN CT-3C)
	72' PUBLIC RIGHT OF WAY



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CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

SEAL

REVISIONS				DATE	SCALE	AS SHOWN
A	03/14/2025	TOHS COMMENTS				
B	05/27/2025	TOHS COMMENTS				
C	11/24/2025	TOHS COMMENTS				
E	12/19/2025	TOHS COMMENTS				
DATE: JANUARY 2, 2025				HOZ SCALE	AS SHOWN	
FILE NO. 2023-057				ORG. SHEET SIZE	24" X 36"	

7051 ROUSE ROAD MASTER PLAN

STREET TYPOLOGY

T: (919) 852-0849
F: (919) 852-0843
208 S. Fidelity Avenue
Fayetteville, NC 27508

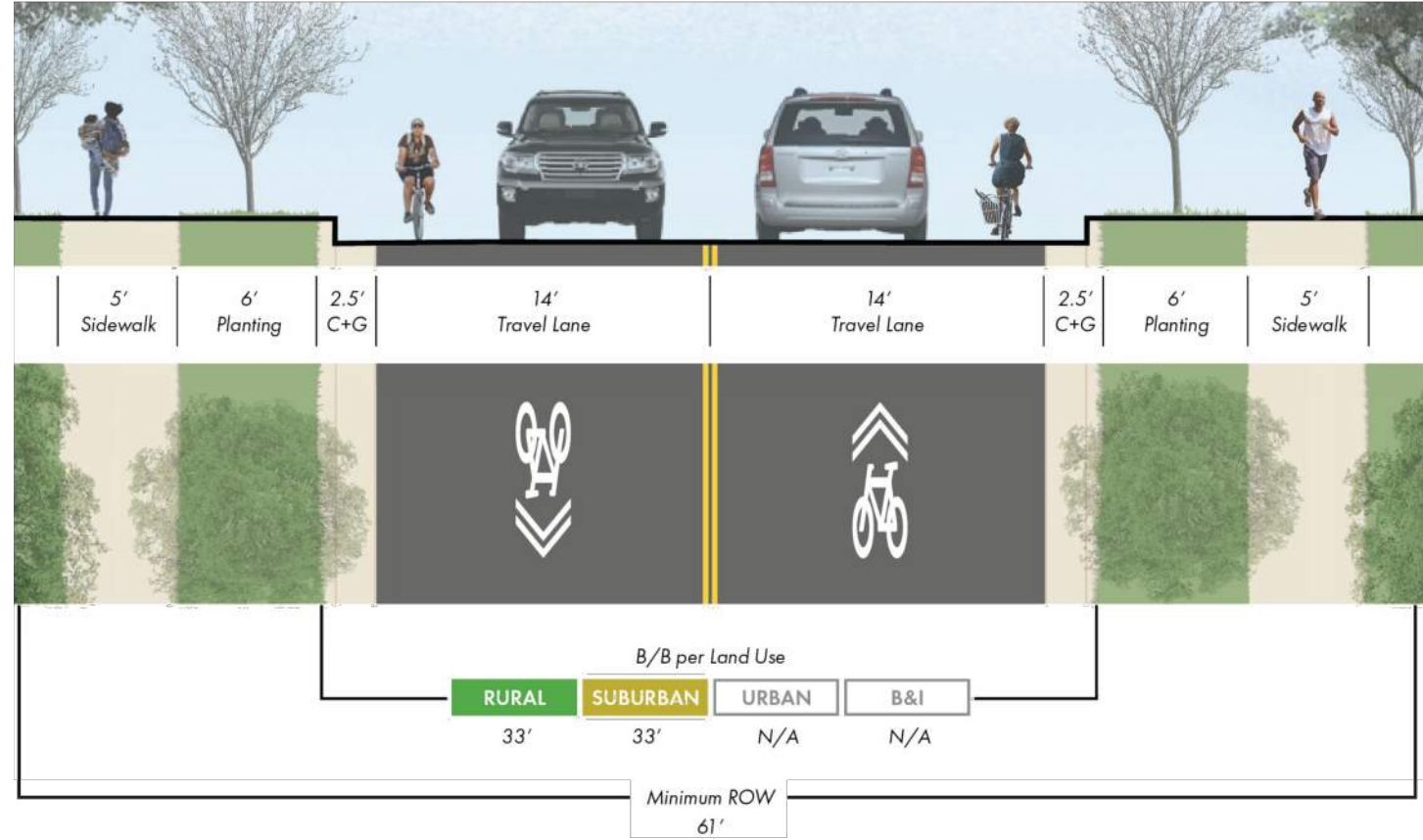
2025

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C-2.3

C-2A
Collector | 2 Lanes

C-2A Minimum



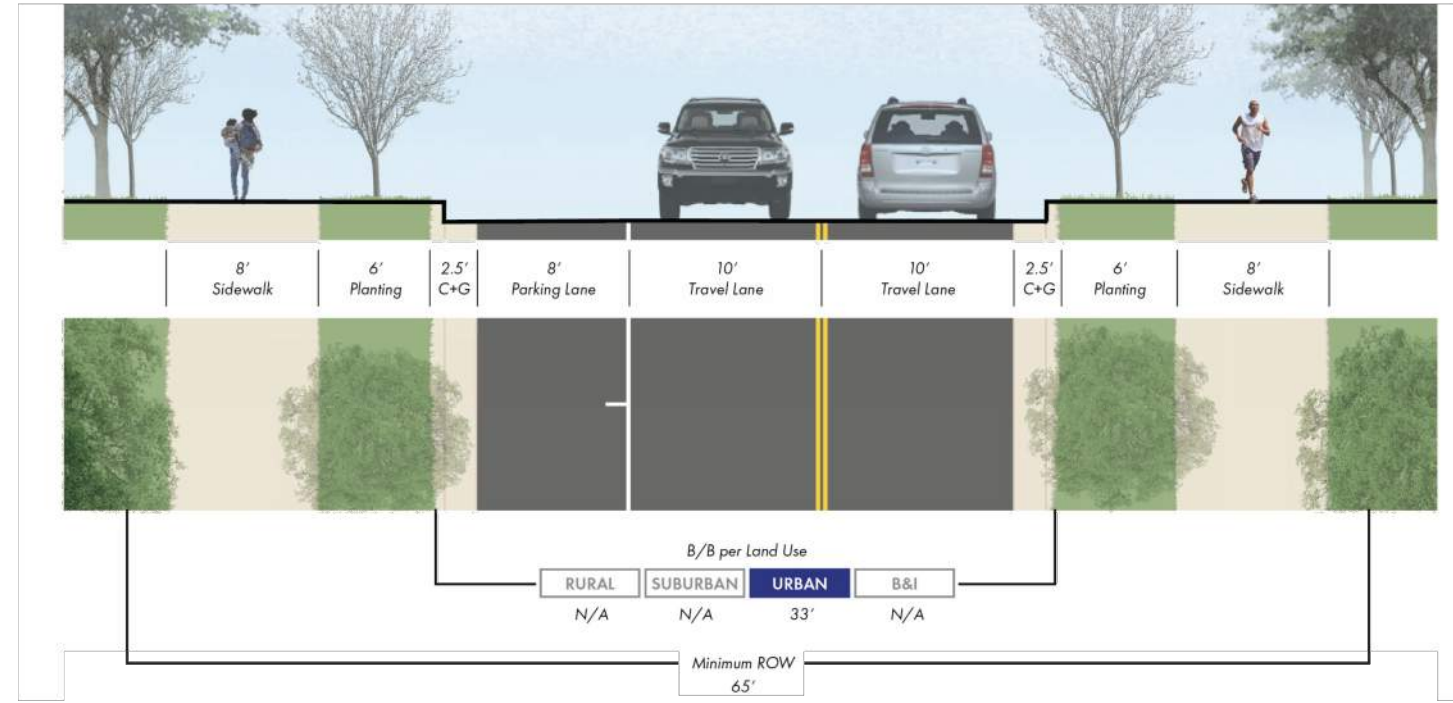
UC-1A			Land Use Character Area			
Design Elements	Element Included	Minimum Dimension	Rural	Suburban	Urban	Business & Industrial
Right-of-Way (ROW)	Yes	61'	59'	61'		
Back of Curb to Back of Curb (B/B)	Yes	33'	33'	33'		
Travel Lanes	2 Lanes	14'	14'	14'		
Center Turn Lane	No	-	-	-		
Median	No	-	-	-		
Curb and Gutter (C+G)	2 Sides	2.5'	2.5'	2.5'		
Paved Shoulder	No	-	-	-		
Planting	2 Sides	6'	6'	6'		
On-Street Parking	No	-	-	-		
Sidewalk	2 Sides	5'	5'	6'		
Bicycle Facility	Sharrow / Wide Outside Lane*	Included in Travel Lanes				

Note 1: Right-of-Way (ROW) dimension accounts for an extra 2 feet of space on back side of cross-section elements on both sides to account for variables in design and construction (extra 4 feet total added to ROW). ROW is also rounded up to the nearest whole number.
Note 2: Design elements and dimensions for Somewhat Suburban and Somewhat Urban land use characters should be considered with the respective Suburban and Urban categories.
*Reference recommendations table in Appendix J for cross-section elements to be included for a given project.

111 Vision Holly Springs - Section 2: Comprehensive Transportation Plan Supplement #7

C-2B
Collector | 2 Lanes

C-2B Minimum



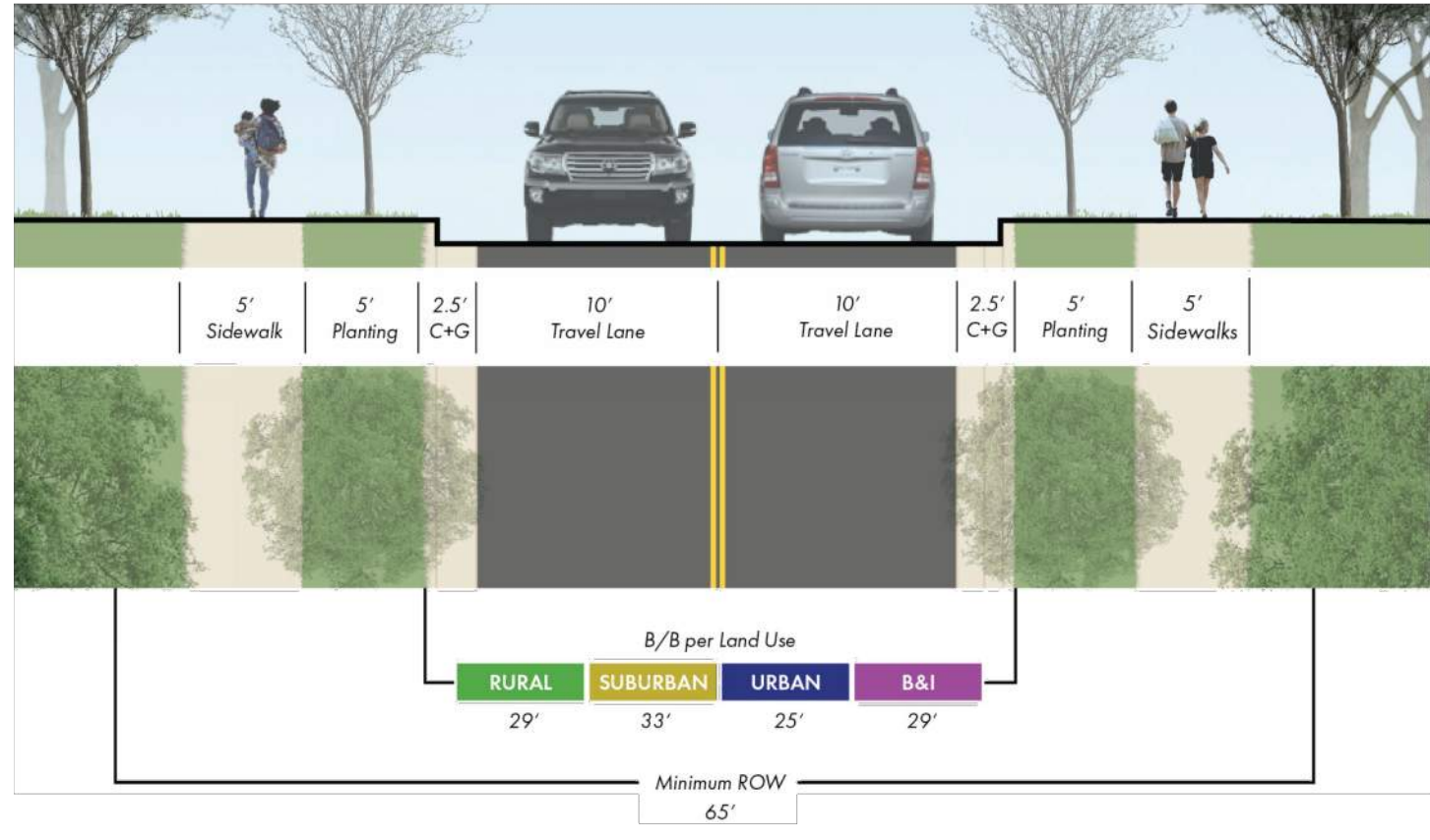
C-2B			Land Use Character Area			
Design Elements	Element Included	Minimum Dimension	Rural	Suburban	Urban	Business & Industrial
Right-of-Way (ROW)	Yes	65'			65'	
Back of Curb to Back of Curb (B/B)	Yes	33'			33'	
Travel Lanes	2 Lanes	10'			10'	
Center Turn Lane	No	-			-	
Median	No	-			-	
Curb and Gutter (C+G)	2 Sides	2.5'			2.5'	
Paved Shoulder	No	-			-	
Planting	2 Sides	6'			6'	
On-Street Parking	1 Side	8'			8'	
Sidewalk	2 Sides	8'			8'	
Bicycle Facility	Sharrow / Wide Outside Lane*	Included in Travel Lanes				

Note 1: Right-of-Way (ROW) dimension accounts for an extra 2 feet of space on back side of cross-section elements on both sides to account for variables in design and construction (extra 4 feet total added to ROW). ROW is also rounded up to the nearest whole number.
Note 2: Design elements and dimensions for Somewhat Suburban and Somewhat Urban land use characters should be considered with the respective Suburban and Urban categories.
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Supplement #7 The Network Visualized 112

LC-2A
Local/Neighborhood Connector or Collector | 2 Lanes

LC-2A Minimum



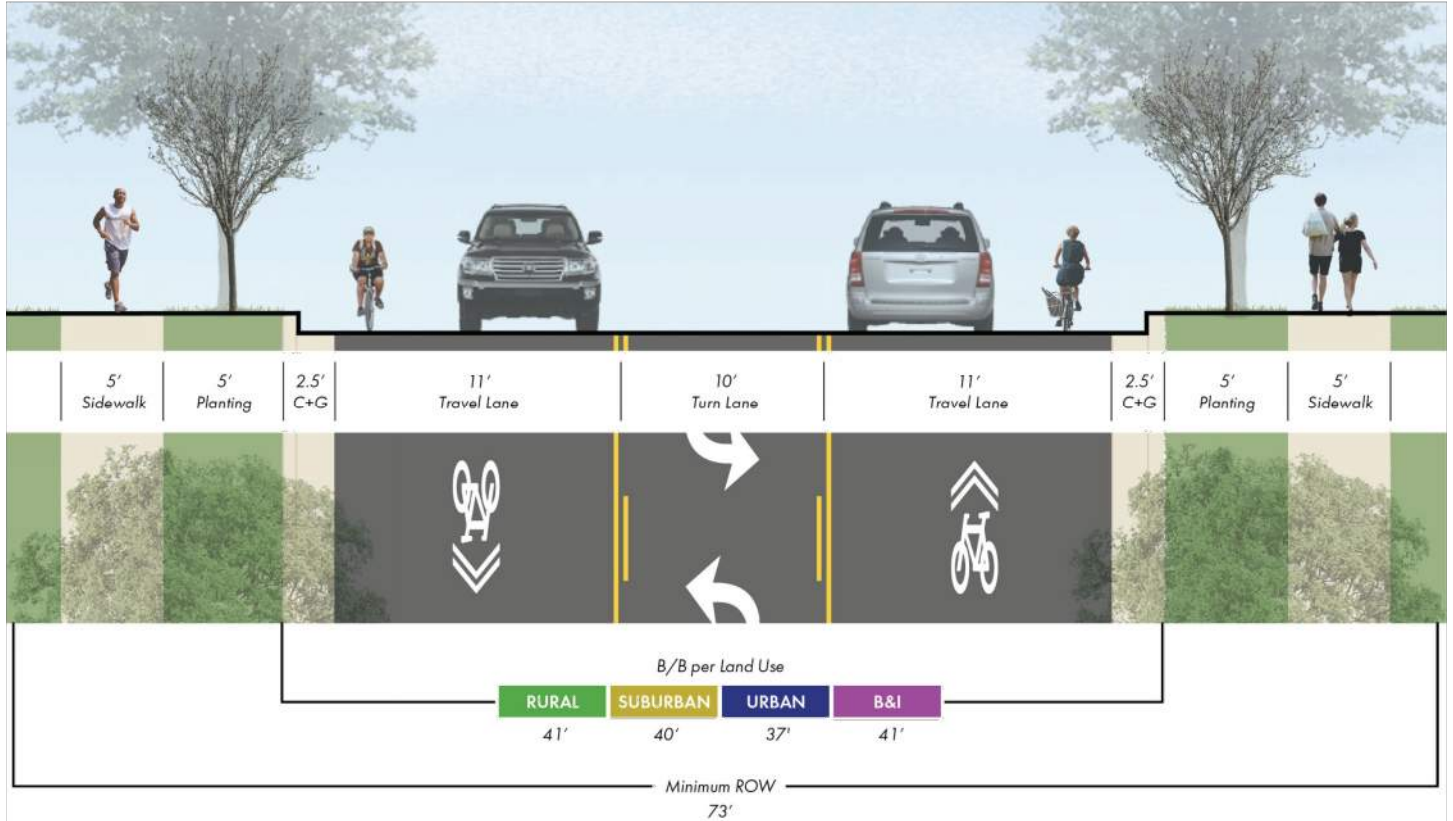
L-2A			Land Use Character Area			
Design Elements	Element Included	Minimum Dimension	Rural	Suburban	Urban	Business & Industrial
Right-of-Way (ROW)	Yes	65'	60'	65'	63'	58'
Back of Curb to Back of Curb (B/B)	Yes	25'	29'	33'	25'	29'
Travel Lanes	2 Lanes	10'	12'	14'	10'	12'
Center Turn Lane	No	-	-	-	-	-
Median	No	-	-	-	-	-
Curb and Gutter (C+G)	2 Sides	2.5'	2.5'	2.5'	2.5'	2.5'
Paved Shoulder	No	-	-	-	-	-
Planting	2 Sides	5'	6'	6'	8'	5'
On-Street Parking	Varies	-	-	Informal Parking	-	-
Sidewalk	1-2 Sides*	5'	10'	10'	10'	10'
Bicycle Facility	Sharrow / Wide Outside Lane*	Included in Travel Lanes				

Note 1: Right-of-Way (ROW) dimension accounts for an extra 2 feet of space on back side of cross-section elements on both sides to account for variables in design and construction (extra 4 feet total added to ROW). ROW is also rounded up to the nearest whole number.
Note 2: Design elements and dimensions for Somewhat Suburban and Somewhat Urban land use characters should be considered with the respective Suburban and Urban categories.
*Reference recommendations table in Appendix J for cross-section elements to be included for a given project.

105 Vision Holly Springs - Section 2: Comprehensive Transportation Plan Supplement #7

CT-3C
Collector or Thoroughfare | 3 Lanes

CT-3C Minimum



This cross-section includes the option to have a median in place of ongoing center turn lane. If warranted the minimum ROW would be 86.5'.

CT-3C			Land Use Character Area			
Design Elements	Element Included	Minimum Dimension	Rural	Suburban	Urban	Business & Industrial
Right-of-Way (ROW)	Yes	73'	67'	68'	73'	65'
Back of Curb to Back of Curb (B/B)	Yes	37'	41'	40'	37'	41'
Travel Lanes	2 Lanes	12'	12'	12'	11'	12'
Center Turn Lane	Yes	10'	12'	11'	10'	12'
Median	No	-	-	-	-	-
Curb and Gutter (C+G)	2 Sides	2.5'	2.5'	2.5'	2.5'	2.5'
Paved Shoulder	No	-	-	-	-	-
Planting	2 Sides	5'	6'	6'	8'	5'
On-Street Parking	No	-	-	-	-	-
Sidewalk	2 Sides	5'	5'	6'	8'	5'
Bicycle Facility	Sharrow / Wide Outside Lane*	Included in Travel Lanes				

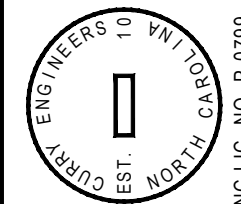
Note 1: Right-of-Way (ROW) dimension accounts for an extra 2 feet of space on back side of cross-section elements on both sides to account for variables in design and construction (extra 4 feet total added to ROW). ROW is also rounded up to the nearest whole number.
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Supplement #7 The Network Visualized 122

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STREET SECTIONS

T: (919) 852-0849
F: (919) 852-0843
208 S. Fagley Avenue
Fayetteville, NC 27308

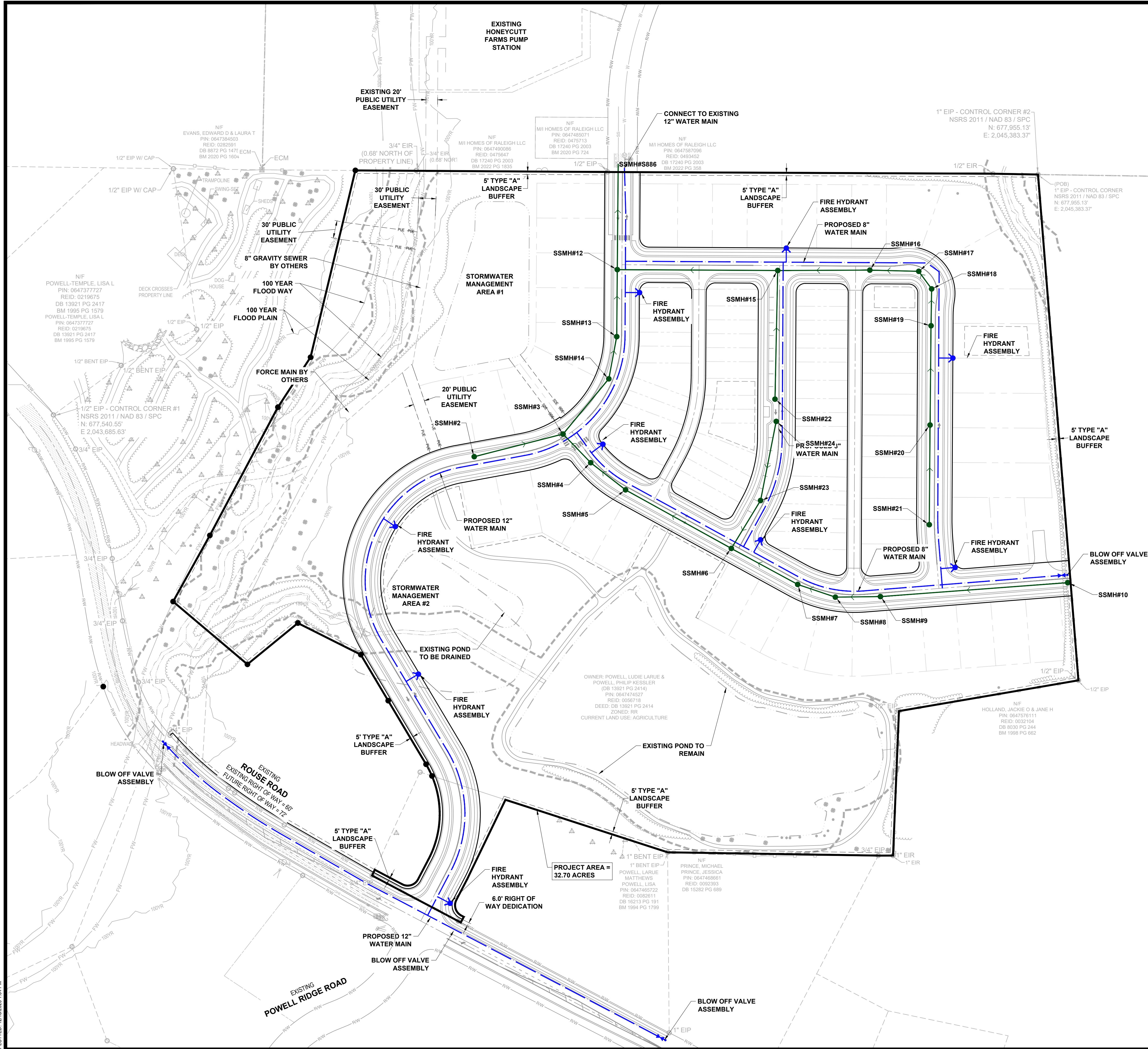


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CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

SEAL

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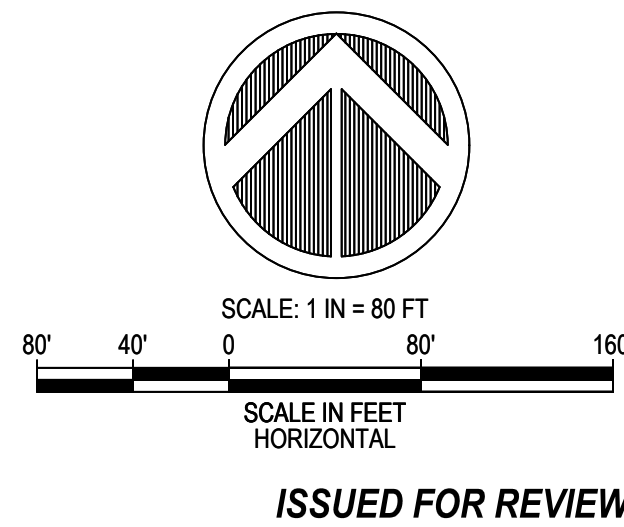


GENERAL NOTES:

1. ALL PUBLIC UTILITY EXTENSIONS SHALL BE PER THE TOWN OF HOLLY SPRINGS STANDARDS & SPECIFICATIONS.
2. PUBLIC UTILITY ROUTES AS SHOWN ON THIS PLAN SHALL BE CONSIDERED PRELIMINARY IN NATURE. FINAL LOCATIONS WILL BE DETERMINED AT CONSTRUCTION DRAWINGS.
3. WATER & SEWER ALLOCATIONS MUST BE APPROVED BY THE TOWN BOARD PRIOR TO ANY CONNECTIONS TO EXISTING TOWN OF HOLLY SPRINGS UTILITIES.
4. OFF-SITE EASEMENTS REQUIRED FOR UTILITY CONNECTIONS MUST BE OBTAINED PRIOR TO START OF CONSTRUCTION.

LEGEND

	FIRE HYDRANT
	TEMPORARY BLOW OFF ASSEMBLY
	PROPOSED WATER MAIN
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER MAIN
	FORCE MAIN BY OTHERS
	GRAVITY SEWER BY OTHERS



SUBMITTAL

REZONING & MASTER PLAN
CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

SEAL

7051 ROUSE ROAD MASTER PLAN
OVERALL UTILITY PLAN

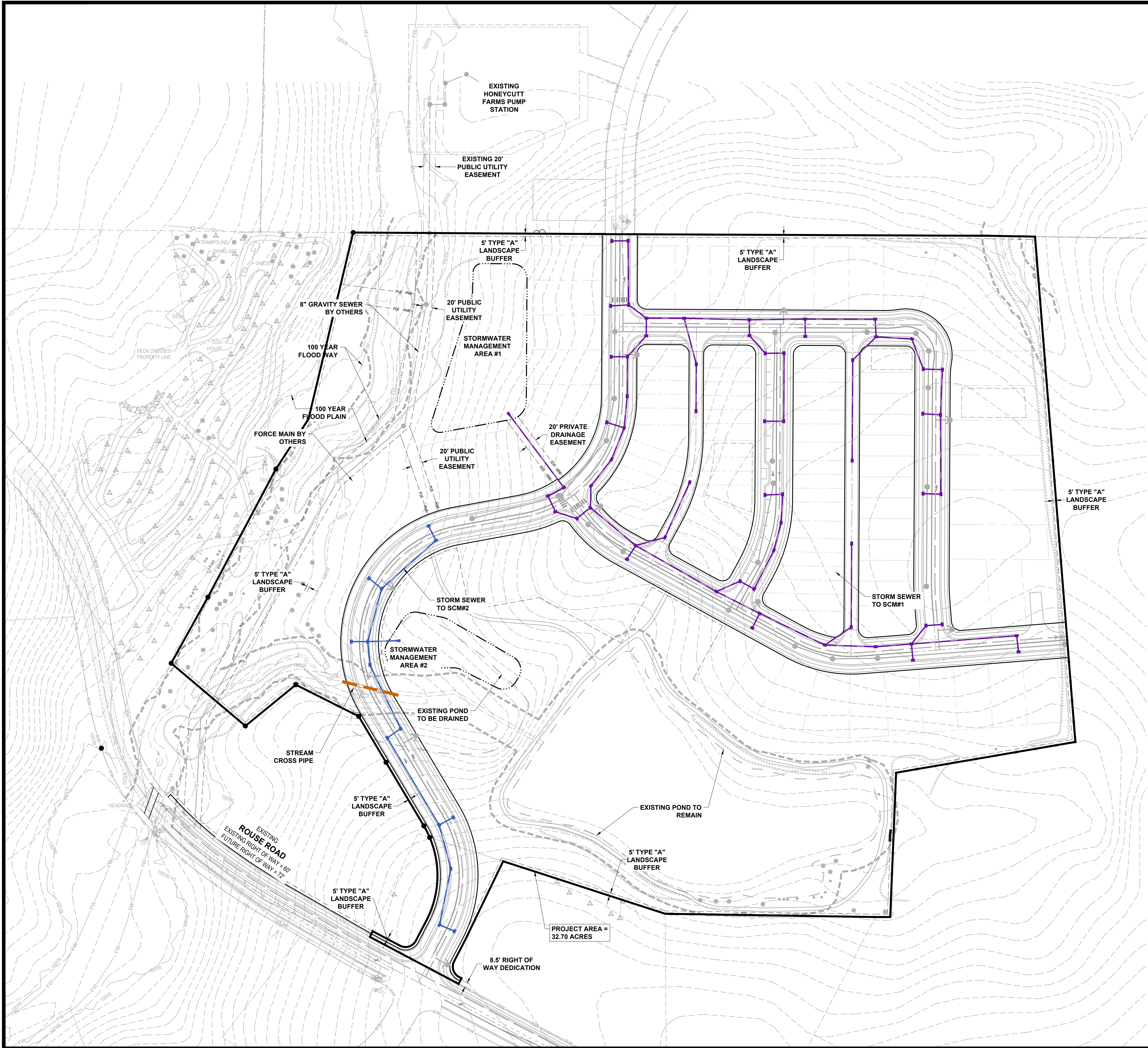
208 S. Fidelity Avenue
Fayetteville, NC 27508
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F: (919) 852-0843

ENGINEER
C. V. LUTHER
NORTH CAROLINA

Curry
ENGINEERING

C-3.0

Z:\PROJECTS\FOLDER_ZEBU\2023\2023-057\48 HOMES ROUSE ROAD - HOLLY SPRINGS\PLANS\MASTER PLANS\DRAINAGE PLAN.DWG
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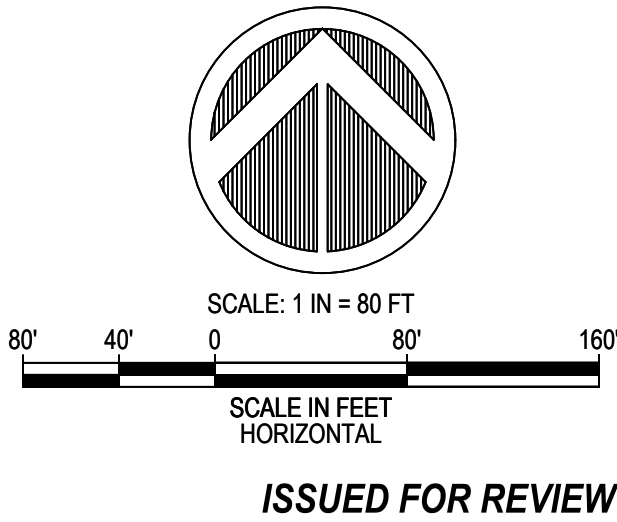


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LEGEND

	STORM STRUCTURES - SCM#1
	STORM SEWER - SCM#1
	STORM STRUCTURES - SCM#2
	STORM SEWER - SCM#1
	STORM SEWER - CROSS PIPE



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CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

SEAL

7051 ROUSE ROAD MASTER PLAN
OVERALL DRAINAGE PLAN

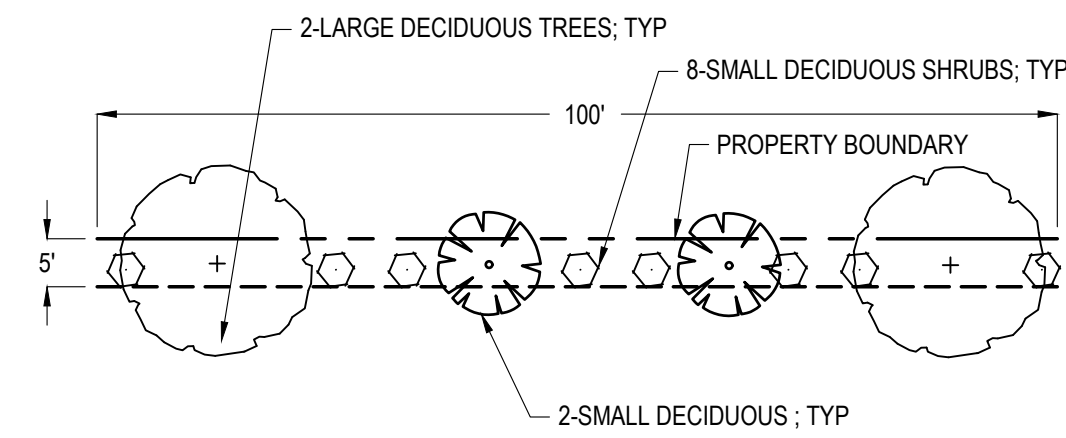
208 S. Fagary Avenue
Fayetteville, NC 27808

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ENGINEERING

C-4.0

REVISIONS		DATE	SCALE	AS SHOWN
A	03/14/2025	TOHS COMMENTS		
B	05/27/2025	TOHS COMMENTS		
C	11/24/2025	TOHS COMMENTS		
E	12/19/2025	TOHS COMMENTS		
DATE: JANUARY 2, 2025		FILE NO. 2025-057	HORIZ. SCALE:	AS SHOWN
			VERT. SCALE:	AS SHOWN
			GRAPHIC SCALE:	24" = 30'

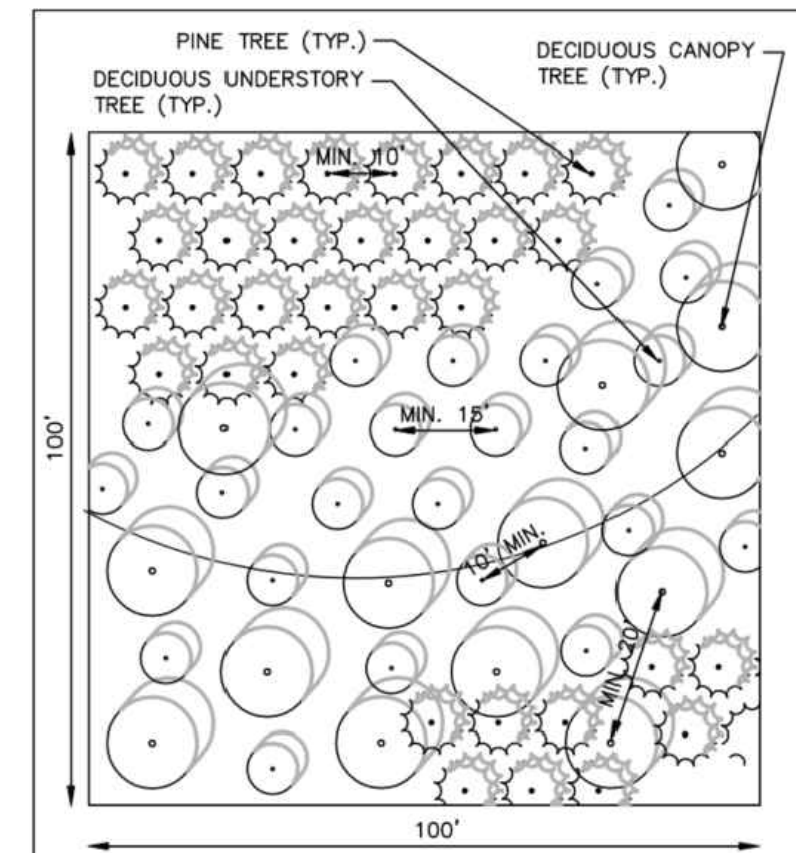
Z:\PROJECTS\FOLDER_ZEBU\2023\2023-057\48 HOMES ROUSE ROAD - HOLLY SPRINGS\PLANS\MASTER PLANS\SHEET FILES\L-1.0 PERIMETER BUFFER PLAN.DWG
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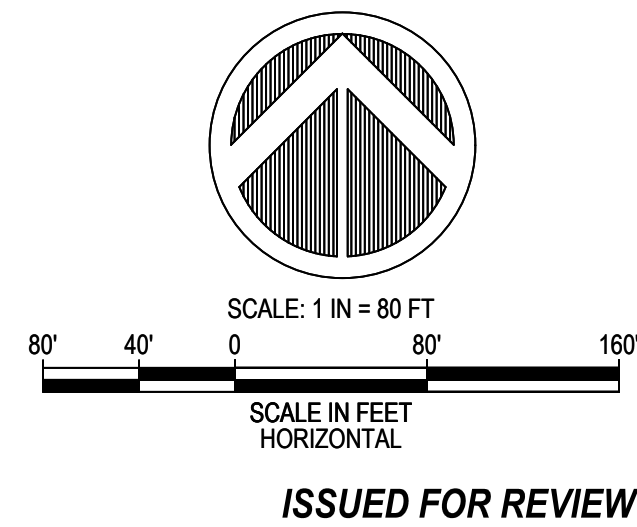
5' TYPE 'A' ENHANCED OPEN BUFFER - TYPICAL 100' SECTION

REQUIREMENTS:
4 DECIDUOUS TREES PER 100 LF (2 LARGE & 2 SMALL)
8 SMALL SHRUBS PER 100 LF

NOTES:
TREES TO HAVE A MAXIMUM SPACING OF 25 FEET AT INSTALLATION
SHRUBS TO HAVE A MAXIMUM SPACING OF 10 FEET AT INSTALLATION
LARGE TREES TO BE A MINIMUM OF 10 FEET TALL AT TIME OF INSTALLATION
SMALL TREES TO BE A MINIMUM OF 8 FEET TALL AT TIME OF INSTALLATION
SMALL SHRUBS TO BE A MINIMUM OF 24 INCHES TALL AT TIME OF INSTALLATION



REFORESTATION DETAIL - TYPICAL 100' x 100' SECTION



SUBMITTAL
REZONING & MASTER PLAN
CONDITIONAL DISTRICT
TOHS PROJECT # 25-REZ-02

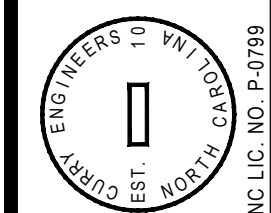
SEAL

REVISIONS		DATE	SCALE	AS SHOWN
A	03/14/2025	TOHS COMMENTS		
B	05/27/2025	TOHS COMMENTS		
C	11/24/2025	TOHS COMMENTS		
D	12/19/2025	TOHS COMMENTS		
E				
DATE: JANUARY 2, 2025				
FILE NO. 2023-057				

7051 ROUSE ROAD MASTER PLAN

LANDSCAPE & BUFFER PLAN

T: (919) 852-0849
F: (919) 852-0843
208 S. Fidelity Avenue
Fayetteville, NC 27308



Curry
ENGINEERING
L-1.0



REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

PETITION TYPE – each request must be a separate application in the Portal

<input type="checkbox"/>	Zoning Map Change – General Use District
<input checked="" type="checkbox"/>	Zoning Map Change – Conditional Zoning District <input type="checkbox"/> Option 1 Plan: Development Plan or Subdivision Plan (Preliminary Plat) <input checked="" type="checkbox"/> Option 2 Plan: Master Plan
<input type="checkbox"/>	Comprehensive Plan Amendment <input type="checkbox"/> Text Amendment <input type="checkbox"/> Future Land Use Map Amendment <input type="checkbox"/> Small Area Plan Map Amendment
<input type="checkbox"/>	UDO Text Amendment – UDO Section:

PROJECT INFORMATION

<https://www.hollyspringsnc.gov/742/Maps>

Project Name	Powell Place
Project Location Use street address. If none, use closest intersection	7051 & 7121 Rouse Rd, Holly Springs, NC 27540 <input type="checkbox"/> Within Corporate Limits <input checked="" type="checkbox"/> Within Holly Springs ETJ <input type="checkbox"/> Pending Annexation
PIN(s)	0647474527; 0647465722
Real Estate ID	0056718; 0082611
Project Acreage	29.82 Acres
Current Zoning	Rural Residential
Proposed Zoning	Neighborhood Residential Conditional District (NR-CD)
Current Future Land Use Designation	Mixed Residential Neighborhood
Proposed Future Land Use Designation	Mixed Residential Neighborhood
Small Area Plan Designation (if applicable)	N/A
Special Study Scoping Meeting Dates	Sewer Scoping Mtg. 1/25/24; TIA 3/28/24
Sketch Plan Review (pre-submittal) Meeting Date:	10/31/24
Neighborhood Meeting Date:	August 28, 2024 and December 18, 2024

CERTIFICATE OF COMPLETION

I certify that all information presented in this petition is accurate to the best of my knowledge and belief.

Signature of Applicant:

Date: 3/14/2025



REZONING PETITION

Rezoning, Comprehensive Plan Amendment, UDO Amendment
DPM Appendix #A.02 Supplement 20 September 2024

PETITION CONTACT INFORMATION *(Attach additional sheets if needed)*

Applicant and Financially Responsible Party will need to register for an account on the Portal.

Project Applicant Check One: ☐ Owner ☐ Owner's Agent ☐ Design Professional ☐ Developer ☒ Other

Name: [Jason Barron/Leticia Shapiro](#)

Company: [Morningstar Law Group](#)

Mailing Address: [434 Fayetteville St, Ste 2200](#)

City, State, Zip: [Raleigh, NC 27601](#)

Telephone: [919-590-0371/919-590-0366](#)

E-Mail: jbarron@morningstarlawgroup.com/tshapiro@morningstarlawgroup.com

Design Professional

Name: [Andy Petty](#)

Company: [Curry Engineering](#)

Mailing Address: [205 S. Fuquay Ave.](#)

City, State, Zip: [Fuquay-Varina, NC 27526](#)

Telephone: [\(919\) 552.0849 x102](#)

E-Mail: andy@curryeng.com

Developer

Name: [Roman Acosta](#)

Company: [KB Home Raleigh-Durham, Inc.](#)

Mailing Address: [1800 Perimeter Park Drive, Suite 140](#)

City, State, Zip: [Morrisville, NC 27560](#)

Telephone: [\(919\) 768-7976](#)

E-Mail: RAcosta@KBHome.com

Architect

Name:

Company:

Mailing Address:

City, State, Zip:

Telephone:

E-Mail:

Landscape Architect

Name:

Company:

Mailing Address:

City, State, Zip:

Telephone:

E-Mail:

Financially Responsible Party (REQUIRED)

Name: [Roman Acosta](#)

Company: [KB Home Raleigh-Durham, Inc..](#)

Mailing Address: [1800 Perimeter Park Drive, Suite 140](#)

City, State, Zip: [Morrisville, NC 27560](#)

Telephone: [\(919\)768-7976](#)

E-Mail: RAcosta@KBHome.com

Property Owner (REQUIRED)

Name: [See Attached.](#)

Company:

Mailing Address:

City, State, Zip:

Telephone:

E-Mail: